

# PRELIMINARY & FINAL LAND DEVELOPMENT & MINOR SUBDIVISION PLAN FOR PERON DEVELOPMENT LLC BLOCK 3A OF WARD 4 413 E. 3RD STREET (PARCEL P6 2 2-13 0204) 415 E. 3RD STREET (PARCEL P6 2 2-14 0204) CITY OF BETHLEHEM NORTHAMPTON COUNTY, PENNSYLVANIA

APPLICANT ACKNOWLEDGEMENT:  
CORPORATION: PERON DEVELOPMENT LLC  
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_ WHO ACKNOWLEDGED HIMSELF/HERSELF TO BE \_\_\_\_\_ AND THAT HE/SHE AS SUCH \_\_\_\_\_ BEING AUTHORIZED TO DO SO, EXECUTED THE WITHIN PLAN AND ACKNOWLEDGED THAT THE SAME WAS EXECUTED AS THE OFFICIAL PLAN OF IMPROVEMENTS, HIGHWAYS AND PROPERTY SHOWN THEREON AND DESIRED THAT THE PLAN BE RECORDED ACCORDING TO LAW BY SIGNING THE NAME OF THE CORPORATION BY HIMSELF/HERSELF AS \_\_\_\_\_

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.

(NOTARY PUBLIC)

MY COMMISSION EXPIRES: \_\_\_\_\_ (SEAL)

CERTIFICATION OF OWNERSHIP (CORPORATION)

I, STEVE FERNSTROM OF BETHLEHEM PARKING AUTHORITY

BEING DULY SWORN ACCORDING TO LAW, AND ACTING IN MY CAPACITY AS EXECUTIVE DIRECTOR

DEPOSE AND SAY THAT THE ABOVE NAMED CORPORATION IS THE TRUE AND LAWFUL OWNER OF PROPERTY KNOWN AS P6 2 2-13 0204 & P6 2 2-14 0204; THAT THE ABOVE DESCRIBED PROPERTY IS IN PEACEFUL

POSSESSION OF SAID CORPORATION AND THAT THERE ARE NO SUITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

BETHLEHEM PARKING AUTHORITY CORPORATION

BY: STEVE FERNSTROM, EXECUTIVE DIRECTOR

ATTEST: \_\_\_\_\_

ENGINEER'S CERTIFICATION  
I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

C. RICHARD ROSEBERRY, P.E.  
COLLIERS ENGINEERING & DESIGN (DBA MASER CONSULTING)  
941 MARCON BOULEVARD, SUITE 801  
ALLENTOWN, PA 18109

SEAL  
REGISTRATION NO. PE 46162-R

SURVEYOR'S CERTIFICATION:

I, ROBERT W. TELSCHOW JR., A REGISTERED LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE PLAN, PREPARED FROM A FIELD SURVEY PERFORMED SEPTEMBER, 2014, CORRECTLY REPRESENTS THE PROPERTY BOUNDARY OF THE PROPOSED SUBDIVISION OR LAND DEVELOPMENT.

ROBERT W. TELSCHOW, P.L.S. (SU075641)  
COLLIERS ENGINEERING & DESIGN (DBA MASER CONSULTING)  
2000 MIDLANTIC DRIVE, SUITE 100  
MT LAUREL, NJ 08054

RECORDER OF DEEDS:

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF NORTHAMPTON COUNTY, PENNSYLVANIA ON \_\_\_\_\_, 20\_\_\_\_ IN MAP BOOK VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_

NORTHAMPTON COUNTY RECORDER OF DEEDS

APPROVED BY: BETHLEHEM CITY PLANNING COMMISSION

CHAIRPERSON SECRETARY DATE

REVIEWED: LEHIGH VALLEY PLANNING COMMISSION

REVIEWER DATE

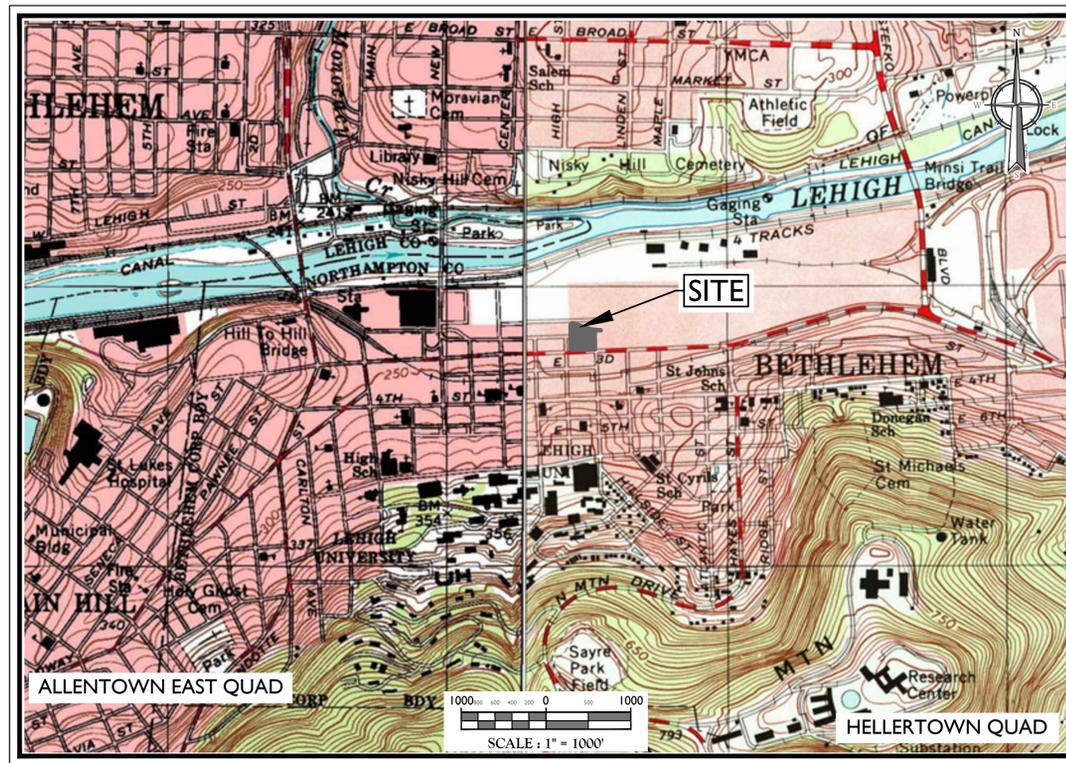
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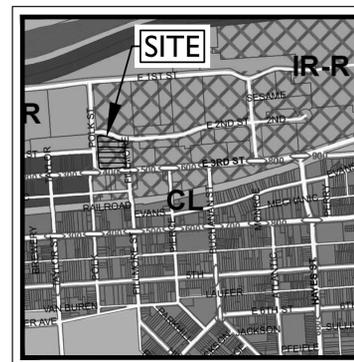
30:\s\1000\1000\Engineering\Comm\Peron\_P6\_2\_2-13\_0204\_P6\_2\_2-14\_0204.dwg

## PA ONE CALL FACILITY OWNER LIST

BETHLEHEM CITY DEPT OF WTR/SWR RESOURCES  
MORAVIAN COLLEGE  
ORASURE TECHNOLOGIES INC  
PPL ELECTRIC UTILITIES CORPORATION  
RCN TELECOM SERVICES INC  
SERVICE ELECTRIC CABLE TV INC  
UGI UTILITIES INC  
VERIZON BUSINESS FORMERLY MCI VERIZON PENNSYLVANIA LLC  
ZAYO BANDWIDTH FORMERLY PPL TELCOM LLC



KEY MAP



ZONING MAP

## GENERAL INFORMATION

- PROPERTY IDENTIFICATION: BEING KNOWN AS PARCELS NOS. P6 2 2-13 0204, P6 2 2-14 0204 AND P6 2 2-15 0204 AS SHOWN ON THE CURRENT OFFICIAL TAX MAP OF THE CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA. ADDRESS FOR THE LOTS LISTED ARE: 413 E. 3RD STREET, NORTHAMPTON COUNTY ASSESSMENT RECORDS ARE RESPECTIVELY: EAST 3RD STREET, EAST 3RD STREET & EAST SECOND STREET.
- THE PROPERTY IS LOCATED IN THE IIR-A INDUSTRIAL REDEVELOPMENT - RESIDENTIAL ZONING DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 77,023 SF, 1.770 ACRES.
- APPLICANT: PERON DEVELOPMENT LLC  
C/O STEVE FERSTROM  
40 W. BROAD STREET  
BETHLEHEM, PA 18018  
(610) 746-1347  
OWNER: BETHLEHEM PARKING AUTHORITY  
C/O STEVE FERSTROM  
45 W. NORTH STREET  
BETHLEHEM, PA 18018  
(610) 865-7123
- STATEMENT OF INTENT: THE SUBJECT PROPERTY IS PRESENTLY A SURFACE PARKING LOT. THE APPLICANT INTENDS TO DEVELOP THE PROPERTY FOR THE PERMITTED USES OF RETAIL, OFFICE & ATTACHED PARKING STRUCTURE.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM FIELD SURVEY PERFORMED ON SEPTEMBER 3, 2014 AND PREPARED BY MASER CONSULTING, PL. PLAN DATED OCTOBER 28, 2014.
- MAP REFERENCES:
  - A CERTAIN MAP ENTITLED: "BETHLEHEM WORKS - PHASE I, BETHLEHEM PENNSYLVANIA, SUBDIVISION PLAN, SHEET 1 OF 1", DATED MARCH 24, 1999, REVISED TO APRIL 24, 2000, PREPARED BY KEYSTONE CONSULTING ENGINEERS, INC., SAID PLAN BEING DULY FILED IN THE NORTHAMPTON COUNTY RECORDER OF DEEDS IN PLAN BOOK 2000-1 PAGE 195.
  - A CERTAIN MAP ENTITLED: "SITE DEVELOPMENT PLAN, SMART DISCOVERY CENTER, 501 E. 3RD ST. FOR LEHIGH UNIVERSITY, CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA, PREPARED BY BARRY SSET & ASSOCIATES, P.C. DATED JUNE 17, 1994, REVISED TO JULY 8, 1994, SAID PLAN BEING DULY FILED IN THE NORTHAMPTON COUNTY RECORDER OF DEEDS IN PLAN BOOK 1994-3 PAGE 245.
  - A CERTAIN MAP ENTITLED: "FINAL PLAN SHOWING WEST BUILDING SUBDIVISION ON PROPERTY OF BETHLEHEM STEEL CORPORATION IN THE CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA, PREPARED BY KEYSTONE CONSULTING ENGINEERS, INC., SAID PLAN BEING DULY FILED ON THE NORTHAMPTON COUNTY RECORDER OF DEEDS IN PLAN BOOK 1996-5 PAGE 257.
- DEED REFERENCES:
  - DEED BOOK 2008-1 PAGE 27307 (SUBJECT PREMISES DEED OF RECORD)
  - DEED BOOK 2005-1 PAGE 74234 (SUBJECT PREMISES DEED OF RECORD - QUIT CLAIM DEED)
  - INSTRUMENT NUMBER: 199602222 (SANITARY SEWER EASEMENT/NOT FLOTTABLE)
  - INSTRUMENT NUMBER: 199902059 (PARTIAL RELEASE OF SANITARY SEWER EASEMENT/NOT FLOTTABLE)
  - INSTRUMENT NUMBER: 201302450 (DEED OF EXTINGUISHMENT FOR ABANDONED PUBLIC WATERLINES AND STORM SEWERS (UNSATURATED FLOTTABLE))
  - INSTRUMENT NUMBER: 199602222 (STORM SEWER RIGHT OF WAY/NOT FLOTTABLE)
  - INSTRUMENT NUMBER: 201020296 (VERIZON PENNSYLVANIA RIGHT OF WAY/NOT FLOTTABLE)
  - DEED BOOK 2000-1 PAGE 15649 (PENNSYLVANIA POWER AND LIGHT RIGHT OF WAY/NOT FLOTTABLE)
  - DEED BOOK 2001-1 PAGE 078339 (PENNSYLVANIA POWER AND LIGHT RIGHT OF WAY/NOT FLOTTABLE)
- SPECIFIC TO THIS PROJECT: ALL RECORD DEED GEOMETRY HAS BEEN MAINTAINED BUT ADJUSTED AND BASED UPON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM NAD 83 (ADJUSTED) TO NEAR SURFACE DERIVED COORDINATES UTILIZING KENNET GPS.
- EXISTING SITE TOPOGRAPHIC INFORMATION AS SHOWN HEREON IS BASED UPON NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988). REFERENCE NOS. MONUMENTS UTILIZED IN THIS SURVEY ARE LISTED BELOW.
- BENCHMARK: 1" PIN NUBS ON SOUTH SIDE OF 3RD STREET TWENTY-THREE FEET WEST OF TRAFFIC SIGNAL BASE AT 3RD & FILLMORE STREETS.
- CONCRETE MONUMENTS AND IRON PINS SHALL SET UPON APPROVAL OF THIS PLAN PRIOR TO RECORDECTION.
- ZONE DATA: IIR-A INDUSTRIAL REDEVELOPMENT - RESIDENTIAL
 

REQUIRED	EXISTING	PROPOSED
RETAIL, OFFICE & PARKING STRUCTURE	P6 2-13 0204	P6 2-13 0204 P6 2-14 0204 (413 E. 3RD STREET)
MINIMUM LOT AREA	2,000 SF	20,600 SF 50,103 SF
MINIMUM LOT WIDTH @ BSL	30 FT	250 FT 206.98 FT
PRINCIPAL BUILDING		
MINIMUM FRONT YARD	10 FT	N/A
MINIMUM REAR YARD	10 FT	N/A
MINIMUM SIDE YARD	10 FT	N/A
MAX. BUILDING HEIGHT (FEET)	200 FT	N/A
PAVING		
MINIMUM FROM CURBLINE	15 FT	N/A
DENSITY		
MIN. AVERAGE LOT AREA PER DWELLING UNIT	1,200 SF	N/A
LOT COVERAGE		
MAX. BUILDING LOT COVER	80%	0.00% 0.00%
SURFACE SPACE		
MAX. IMPERVIOUS COVER	80%	1.34% 81.56%
TOTAL PARKING PROVIDED		
ADJ. SPACES		
BICYCLE PARKING REQUIRED		
BICYCLE PARKING PROVIDED		

## WAIVERS GRANTED

THE FOLLOWING WAIVERS WERE GRANTED BY THE CITY OF BETHLEHEM PLANNING COMMISSION ON DECEMBER 11, 2014:

- SALDO SECTION 1306.01.10.b) ALLOWING IMPERVIOUS COVER IN EXCESS OF 90%
- SALDO SECTION 1306.01.10.b) ALLOWING FRONT YARD SETBACKS LESS THAN 10'-0".

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REV.	DATE	DESCRIPTION
1	1/17/22	REVISED PER CITY OF BETHLEHEM COMMENTS

C. RICHARD ROSEBERRY  
REGISTERED PROFESSIONAL ENGINEER  
No. 46162

C. Richard Roseberry  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

PRELIMINARY & FINAL  
LAND DEVELOPMENT &  
MINOR SUBDIVISION PLAN  
FOR  
PERON  
DEVELOPMENT LLC

BLOCK 3A, WARD 4  
413 E. 3RD STREET (P6 2 2-13 0204)  
415 E. 3RD STREET (P6 2 2-14 0204)

CITY OF BETHLEHEM  
NORTHAMPTON COUNTY  
PENNSYLVANIA

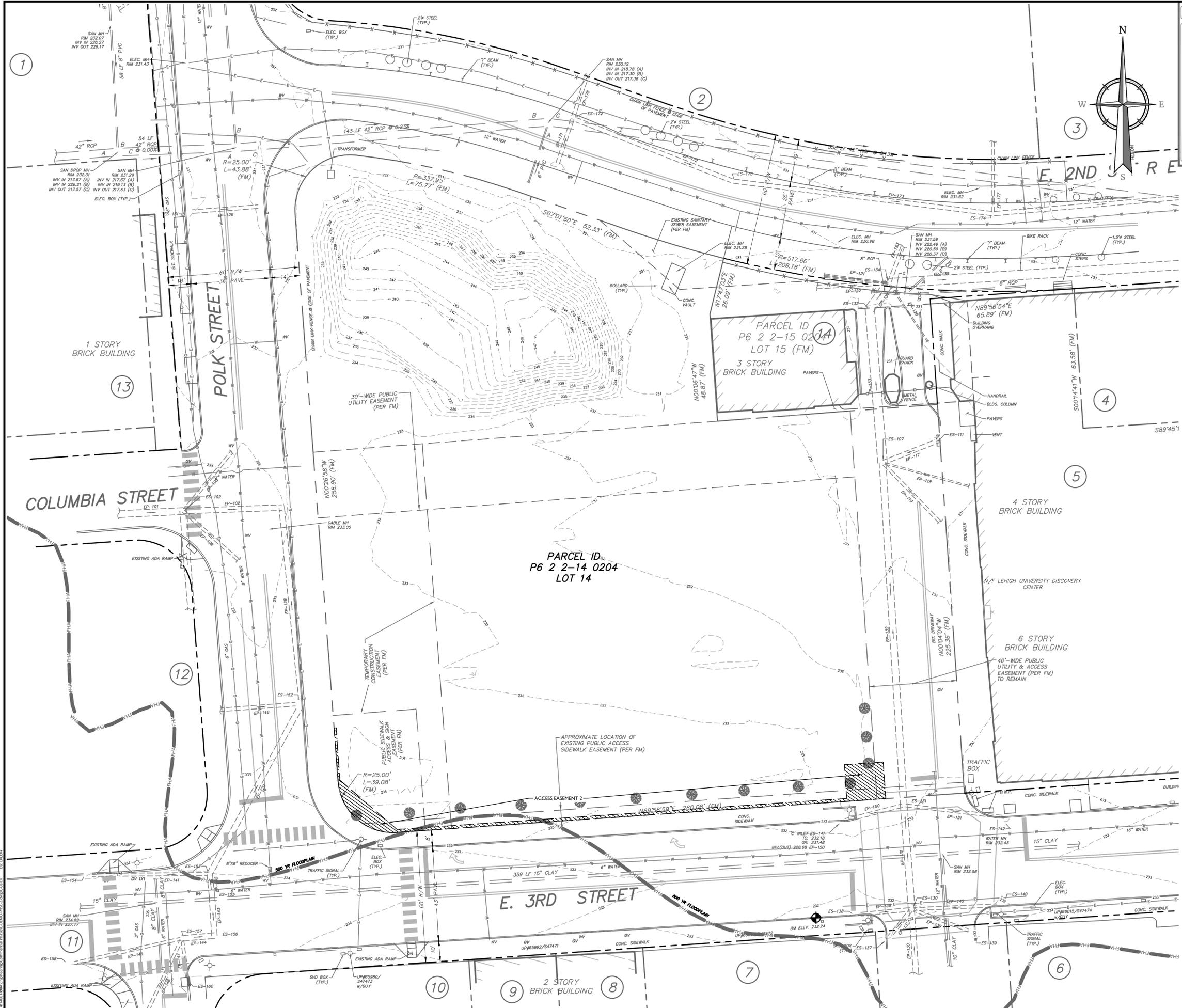
LEHIGH VALLEY,  
941 Marcon Boulevard,  
Suite 801  
Allentown, PA 18109  
Phone: 610.868.4201  
COLLIERS ENGINEERING & DESIGN, INC.  
DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN DATE: 9/28/2021 DRAWN BY: CKK CHECKED BY: CRR  
PROJECT NUMBER: 140014900 DRAWING NAME: C-COVER-PHS-2

COVER SHEET

SHEET NUMBER: 1 of 15

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



**DRAWING LEGEND**

—	CURB	—	2" GAS
—	2" CURB	—	4" GAS
—	4" CURB	—	6" GAS
—	6" CURB	—	8" GAS
—	8" CURB	—	10" GAS
—	10" CURB	—	12" GAS
—	12" CURB	—	14" GAS
—	14" CURB	—	16" GAS
—	16" CURB	—	18" GAS
—	18" CURB	—	20" GAS
—	20" CURB	—	22" GAS
—	22" CURB	—	24" GAS
—	24" CURB	—	26" GAS
—	26" CURB	—	28" GAS
—	28" CURB	—	30" GAS
—	30" CURB	—	32" GAS
—	32" CURB	—	34" GAS
—	34" CURB	—	36" GAS
—	36" CURB	—	38" GAS
—	38" CURB	—	40" GAS
—	40" CURB	—	42" GAS
—	42" CURB	—	44" GAS
—	44" CURB	—	46" GAS
—	46" CURB	—	48" GAS
—	48" CURB	—	50" GAS
—	50" CURB	—	52" GAS
—	52" CURB	—	54" GAS
—	54" CURB	—	56" GAS
—	56" CURB	—	58" GAS
—	58" CURB	—	60" GAS
—	60" CURB	—	62" GAS
—	62" CURB	—	64" GAS
—	64" CURB	—	66" GAS
—	66" CURB	—	68" GAS
—	68" CURB	—	70" GAS
—	70" CURB	—	72" GAS
—	72" CURB	—	74" GAS
—	74" CURB	—	76" GAS
—	76" CURB	—	78" GAS
—	78" CURB	—	80" GAS
—	80" CURB	—	82" GAS
—	82" CURB	—	84" GAS
—	84" CURB	—	86" GAS
—	86" CURB	—	88" GAS
—	88" CURB	—	90" GAS
—	90" CURB	—	92" GAS
—	92" CURB	—	94" GAS
—	94" CURB	—	96" GAS
—	96" CURB	—	98" GAS
—	98" CURB	—	100" GAS

**ADJOINERS**

1	N/F BETHLEHEM ICE RINK LLC ZONING: IR PARCEL ID: P6 2-2-3 LOT AREA (AC.): 3.59 ADDRESS: 320 E 1ST ST BETHLEHEM, PA 18015
2	N/F SANDS BETHWORKS RETAIL LLC ZONING: IR PARCEL ID: P6 2-2-4 LOT AREA (AC.): 3.43 ADDRESS: E 1ST ST
3	N/F SANDS BETHWORKS RETAIL LLC ZONING: IR PARCEL ID: P6 2-2-6 LOT AREA (AC.): 0.61 ADDRESS: E 2ND ST
4	N/F NATIONAL MUSEUM OF INDUSTRIAL HISTORY ZONING: IR PARCEL ID: P6 2-2-16 LOT AREA (AC.): 0.56 ADDRESS: 602 E 2ND ST BETHLEHEM, PA 18015
5	N/F NORTHAMPTON COUNTY AREA COMMUNITY COLLEGE ZONING: IR PARCEL ID: P6 2-2H LOT AREA (AC.): 0.84 ADDRESS: 511 E 3RD ST BETHLEHEM, PA 18015
6	N/F BETHWORKS GREENWAY LLC ZONING: IR PARCEL ID: P6SE18 6 3 LOT AREA (AC.): 1.48 ADDRESS: 502 - 528 E 3RD ST BETHLEHEM, PA 18015
7	N/F BETHWORKS RENOVATIONS LLC ZONING: IR PARCEL ID: P6SE18 5 5 LOT AREA (AC.): 0.34 ADDRESS: 420 - 30 E 3RD ST BETHLEHEM, PA 18015
8	N/F GERONTODIS JOANNE ZONING: IR PARCEL ID: P6SE18 5 4 LOT AREA (AC.): 0.13 ADDRESS: 418 E 3RD ST BETHLEHEM, PA 18015
9	N/F MARTIN KEITH J & KEVIN A ZONING: IR PARCEL ID: P6SE18 5 3 LOT AREA (AC.): 0.13 ADDRESS: 414 16 E 3RD ST BETHLEHEM, PA 18015
10	N/F MECHANIC STREET DEVELOPMENT ASSOCIATES LP ZONING: IR PARCEL ID: P6SE18 5 1 LOT AREA (AC.): 0.39 ADDRESS: 404 E 3RD ST BETHLEHEM, PA 18015
11	N/F POLK STREET DEVELOPMENT ASSOCIATES LP ZONING: CB PARCEL ID: P6SE18 4 4 LOT AREA (AC.): 0.77 ADDRESS: 310 - 32 E 3RD ST BETHLEHEM, PA 18015
12	N/F CHARTER ARTS FOUNDATION ZONING: IR PARCEL ID: P6SE18 2 3 LOT AREA (AC.): 0.26 ADDRESS: 321 E 3RD ST BETHLEHEM, PA 18015
13	N/F FACTORY LAND HOLDING COMPANY LLC ZONING: IR PARCEL ID: P6 2-2 LOT AREA (AC.): 1.64 ADDRESS: 315 COLUMBIA ST BETHLEHEM, PA 18015
14	N/F SANDS BETHWORKS RETAIL LLC ZONING: IR PARCEL ID: P6 2-2-15 LOT AREA (AC.): 0.14 ADDRESS: E 2ND ST

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REV	DATE	DESCRIPTION
1	1/17/22	REVISED PER CITY OF BETHLEHEM COMMENTS

**C. RICHARD ROSEBERY**  
REGISTERED PROFESSIONAL ENGINEER  
No. 40162

**C. Richard Rosebery**  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT & MINOR SUBDIVISION PLAN FOR PERON DEVELOPMENT LLC**

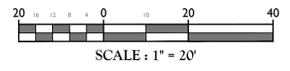
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413 E. 3RD STREET (P6 2-2-13 0204)  
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**CITY OF BETHLEHEM NORTHAMPTON COUNTY PENNSYLVANIA**

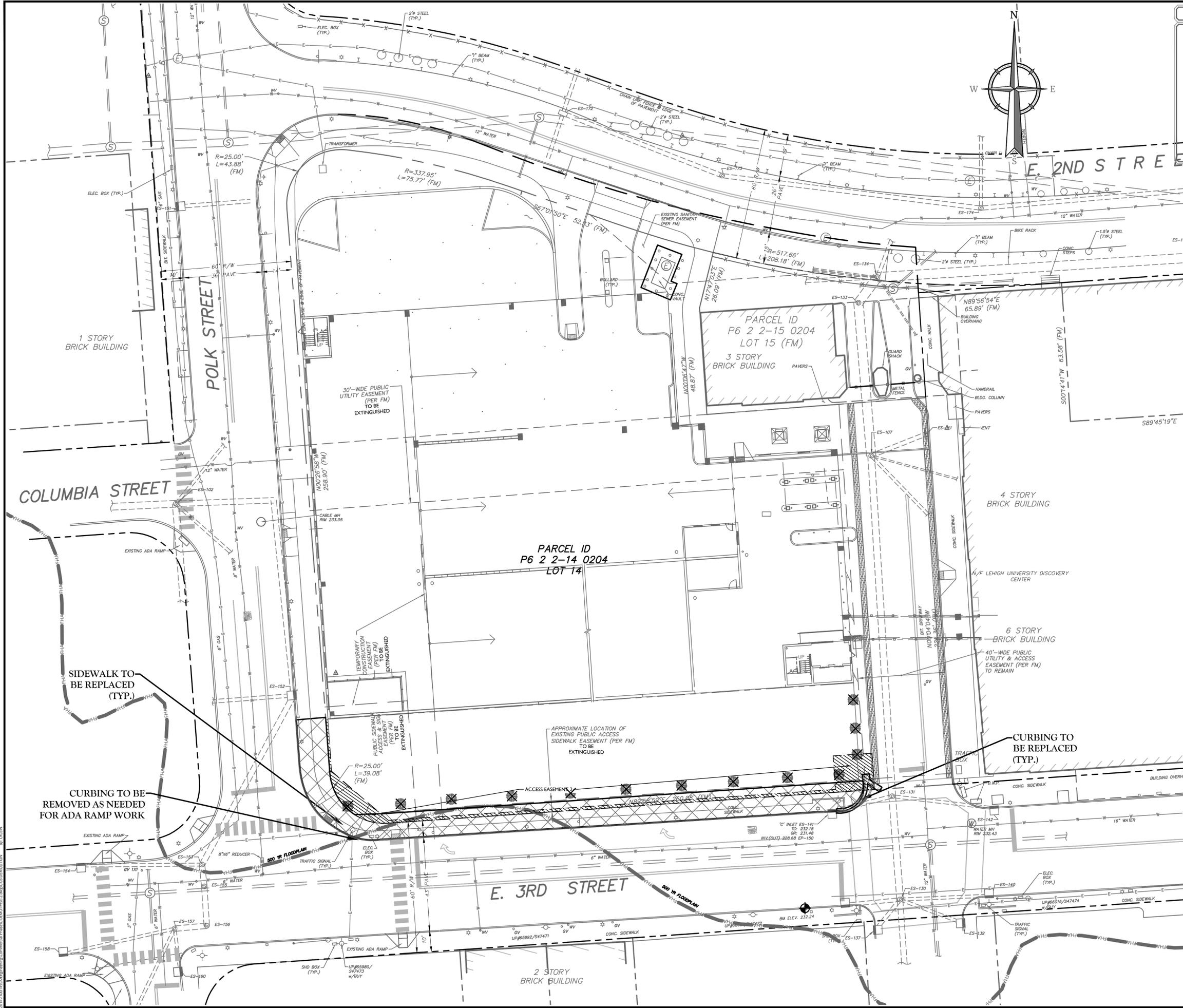
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SCALE: AS SHOWN DATE: 9/28/2021 DRAWN BY: CJK CHECKED BY: CRR  
PROJECT NUMBER: 140014900 DRAWING NAME: C-DEMO-PHE-2  
SHEET TITLE: EXISTING CONDITIONS PLAN  
SHEET NUMBER: 2 of 15



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



**DRAWING LEGEND**

—	CURB	⊙	GAS METER
—	DEP. CURB	⊙	GAS VALVE
—	SHO	⊙	UNMARKED MANHOLE
⊙	POLE MOUNTED LIGHT	⊙	ELECTRIC MANHOLE
—	UTILITY POLE	⊙	DRAINAGE MANHOLE
—	CHAIN FENCE	⊙	SANITARY MANHOLE
—	WALL	⊙	TELEPHONE MANHOLE
—	CONTOUR	⊙	WATER MANHOLE
⊙	SPOT ELEVATION	⊙	TYPE 'C' INLET
⊙	WATER METER	⊙	TYPE 'C' INLET
⊙	FIRE HYDRANT	⊙	TYPE 'M' INLET
⊙	WATER VALVE	—	UNDERGROUND WATER LINE
—	BOTTOM OF CURB	—	UNDERGROUND GAS LINE
—	SECTION OF WALL	—	UNDERGROUND ELECTRIC LINE
—	CEILING OF FLOOR	—	UNDERGROUND TELEPHONE LINE
—	CEILING OF FLOOR	—	UNDERGROUND FIBER OPTIC LINE
—	GRADE	—	OVERHEAD WIRES
—	LINEAR FEET	—	REVISION
—	MANHOLE		
—	PAVE		
—	TOP OF CURB		
—	DETECTABLE WARNING PAD		

**DEMOLITION LEGEND**

⊗	FEATURE TO BE REMOVED
⊗	TREE REMOVED IN GARAGE PHASE

- GENERAL NOTES:**
- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE PENNSYLVANIA ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
  - CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
  - ALL REMOVED MATERIAL MUST BE TRANSPORTED TO A SITE WITH AN ACTIVE NPDES PERMIT OR EROSION & SEDIMENTATION CONTROL PLAN.
  - ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- DEMOLITION NOTES:**
- ALL DEMOLITIONS ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
  - BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
  - DEMOLISH AND REMOVE ALL FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, IF ANY, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED FUTURE GRADE. BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE.
  - ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
  - USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
  - ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
  - COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
  - REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
  - BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION, MARK FOR POSITION ALL UTILITIES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
  - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
  - ALL DEMOLITION WORK ASSOCIATED WITH THE GARAGE IS SHOWN ON THE PREVIOUS LAND DEVELOPMENT PLANS. THE GARAGE IS SHOWN AS EXISTING ON THIS PLAN AS IT WILL COMMENCE CONSTRUCTION PRIOR TO THE COMMERCIAL BUILDING.

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1	1/17/22	CK	REVISED PER CITY OF BETHLEHEM COMMENTS

**C. Richard Roseberry**  
REGISTERED PROFESSIONAL ENGINEER  
No. 46162  
C. Richard Roseberry  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

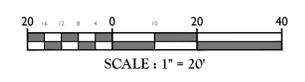
**PRELIMINARY & FINAL LAND DEVELOPMENT & MINOR SUBDIVISION PLAN**  
FOR  
**PERON DEVELOPMENT LLC**  
BLOCK 3A, WARD 4  
413 E. 3RD STREET (P6 2 2-13 0204)  
415 E. 3RD STREET (P6 2 2-14 0204)

**CITY OF BETHLEHEM NORTHAMPTON COUNTY PENNSYLVANIA**

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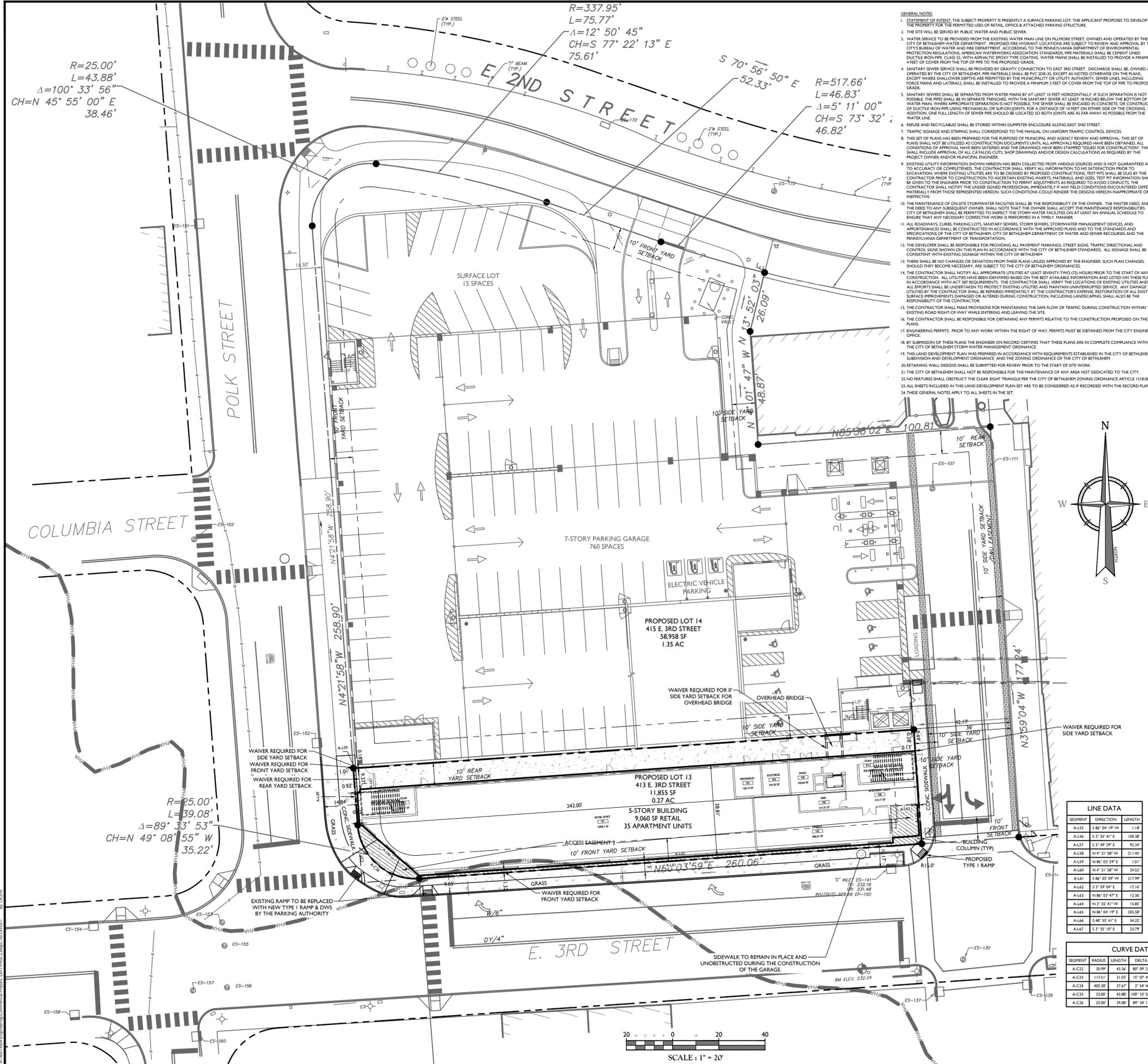
SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	9/28/2021	CK	CKR
PROJECT NUMBER:	DRAWING NAME:		
140014900	C-DEMO-PHSE-2		

SHEET TITLE:  
**SITE DEMOLITION PLAN**  
SHEET NUMBER:  
**3 of 15**



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.





**APPLICANT ACKNOWLEDGEMENT:**  
**CORPORATION: PERON DEVELOPMENT LLC**  
 STATE OF \_\_\_\_\_  
 COUNTY OF \_\_\_\_\_

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_ WHO ACKNOWLEDGED HIMSELF/HERSELF TO BE THE \_\_\_\_\_ AND THAT HE/SHE AS SUCH \_\_\_\_\_ BEING AUTHORIZED TO DO SO, EXECUTED THE WITHIN PLAN AND ACKNOWLEDGED THAT THE SAME WAS EXECUTED AS THE OFFICIAL PLAN OF IMPROVEMENTS, HIGHWAYS AND PROPERTY SHOWN THEREON AND DESIRED THAT THE PLAN BE RECORDED ACCORDING TO LAW BY SIGNING THE NAME OF THE CORPORATION BY HIMSELF/HERSELF AS \_\_\_\_\_

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL

(NOTARY PUBLIC)

MY COMMISSION EXPIRES: \_\_\_\_\_ (SEAL)

**CERTIFICATION OF OWNERSHIP (CORPORATION)**

I, STEVE FERNSTROM OF BETHLEHEM PARKING AUTHORITY BEING DULY SWORN ACCORDING TO LAW, AND ACTING IN MY CAPACITY AS EXECUTIVE DIRECTOR DEPOSE AND SAY THAT THE ABOVE NAMED CORPORATION IS THE TRUE AND LAWFUL OWNER OF PROPERTY KNOWN AS P 6 2-13 0204 & P 6 2-14 0204; THAT THE ABOVE DESCRIBED PROPERTY IS IN PEACEFUL POSSESSION OF SAID CORPORATION AND THAT THERE ARE NO SUITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

**BETHLEHEM PARKING AUTHORITY CORPORATION**

BY: STEVE FERNSTROM, EXECUTIVE DIRECTOR

ATTEST: \_\_\_\_\_

**ENGINEER'S CERTIFICATION**  
 I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

C. RICHARD ROSEBERY, P.E.  
 COLLIER'S ENGINEERING & DESIGN (DBA MASER CONSULTING)  
 941 MARCON BOULEVARD, SUITE 801  
 ALLENTOWN, PA 18109

SEAL  
 REGISTRATION NO. PE 46162-R

**SURVEYOR'S CERTIFICATION:**  
 I, ROBERT W. TELSCHOW JR., A REGISTERED LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA; DO HEREBY CERTIFY THAT THE PLAN, PREPARED FROM A FIELD SURVEY PERFORMED SEPTEMBER, 2014, CORRECTLY REPRESENTS THE PROPERTY BOUNDARY OF THE PROPOSED SUBDIVISION OR LAND DEVELOPMENT.

ROBERT W. TELSCHOW, P.L.S. (SU075641) \_\_\_\_\_ DATE \_\_\_\_\_  
 COLLIER'S ENGINEERING & DESIGN (DBA MASER CONSULTING)  
 2000 MIDLANTIC DRIVE, SUITE 100  
 MT. LAUREL, NJ 08054

**RECORDED OF DEEDS:**  
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF NORTHAMPTON COUNTY, PENNSYLVANIA ON \_\_\_\_\_, 20\_\_\_\_ IN MAP BOOK VOLUME \_\_\_\_\_, PAGE \_\_\_\_\_

NORTHAMPTON COUNTY RECORDER OF DEEDS  
**APPROVED BY: BETHLEHEM CITY PLANNING COMMISSION**

CHAIRPERSON \_\_\_\_\_ SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_  
 REVIEWED: LEHIGH VALLEY PLANNING COMMISSION

REVIEWER \_\_\_\_\_ DATE \_\_\_\_\_

**LEGEND**

EXISTING	PROPOSED
12+00	12+00 13+00
TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	
RIGHT OF WAY LINE	
PROPERTY LINE	
EDGE OF PAVEMENT	FACE BACK
CURB	
DEPRESSED CURB	
SIDEWALK	
FENCES	
ROADWAY SIGNS	
500 YR FLOODPLAIN LINES	
WETLAND LINE	
STALL COUNT	10
ADA ACCESSIBLE STALL	
DEPRESSED CURB AND ADA RAMP	HC
DIRECTION OF TRAFFIC FLOW	
PROPOSED ASPHALT PAVING	
PROPOSED CONCRETE PAVING	
PROPOSED LAWN	

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1	1/17/22	REVISED PER CITY OF BETHLEHEM COMMENTS

**COMMONWEALTH OF PENNSYLVANIA**  
 REGISTERED PROFESSIONAL ENGINEER  
 C. RICHARD ROSEBERY  
 ENGINEER No. 46162

**C. Richard Roseberry**  
 PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: PE046162R  
 COLLIER'S ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT & MINOR SUBDIVISION PLAN FOR PERON DEVELOPMENT LLC**

FOR PERON DEVELOPMENT LLC

BLOCK 3A, WARD 4  
 413 E. 3RD STREET (P6 2-2-13 0204)  
 415 E. 3RD STREET (P6 2-2-14 0204)

**CITY OF BETHLEHEM NORTHAMPTON COUNTY PENNSYLVANIA**

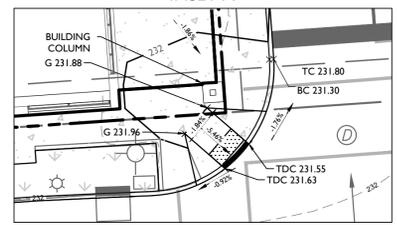
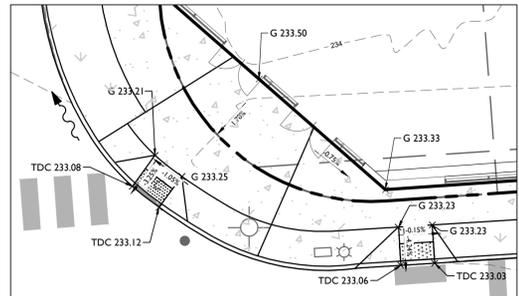
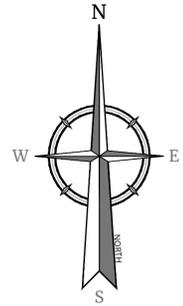
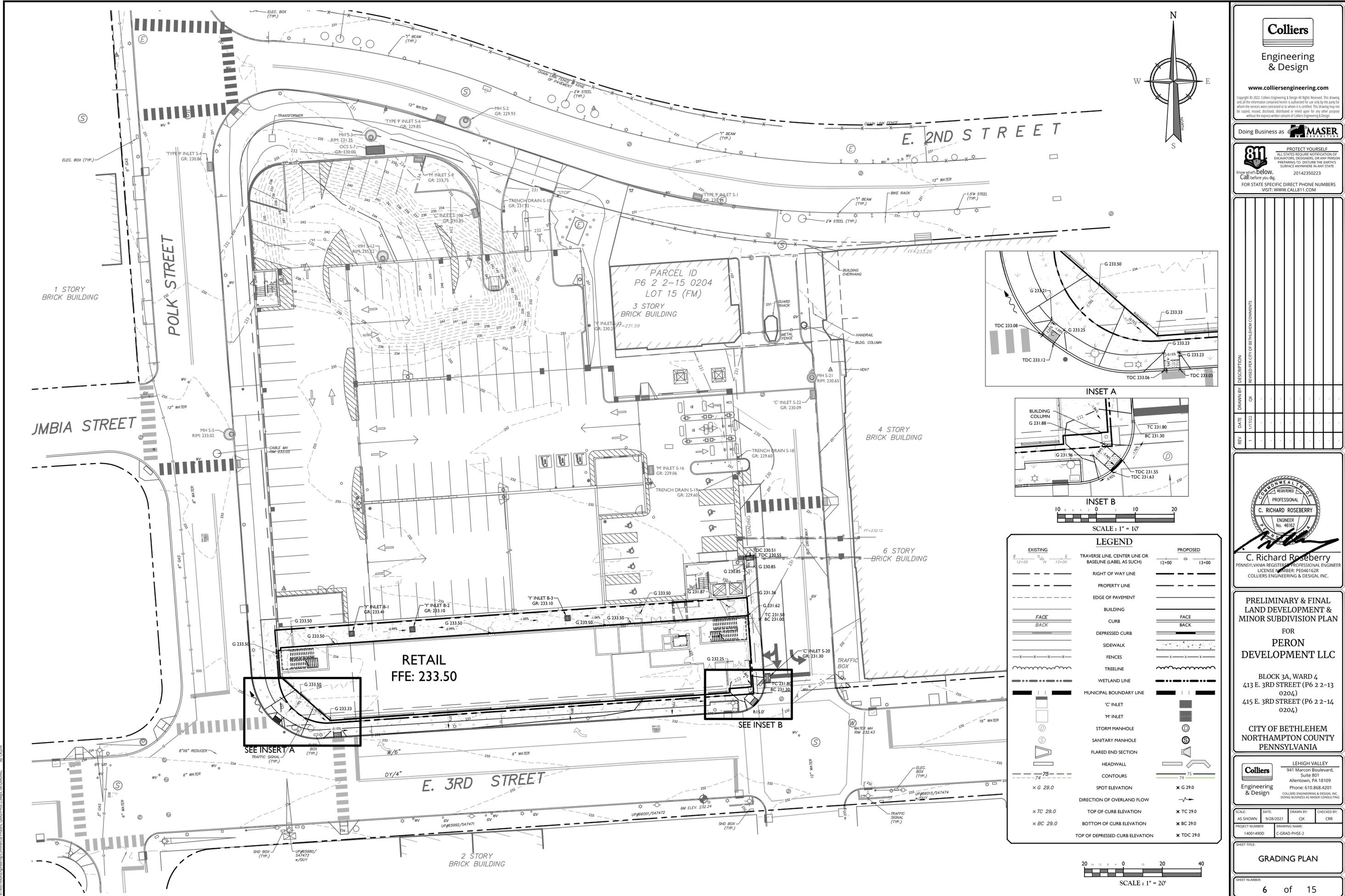
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SCALE: AS SHOWN DATE: 9/28/2021 DRAWN BY: C-LAYT-PHS-2 CHECKED BY: CR

PROJECT NUMBER: 140014900 DRAWING NAME: C-LAYT-PHS-2 SHEET NUMBER: 5 of 15

**DIMENSION PLAN**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



SCALE: 1" = 10'

EXISTING		PROPOSED	
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)		
	RIGHT OF WAY LINE		
	PROPERTY LINE		
	EDGE OF PAVEMENT		
	BUILDING FACE		
	BUILDING BACK		
	DEPRESSED CURB		
	SIDEWALK		
	FENCES		
	TREELINE		
	WETLAND LINE		
	MUNICIPAL BOUNDARY LINE		
	'C' INLET		
	'M' INLET		
	STORM MANHOLE		
	SANITARY MANHOLE		
	FLARED END SECTION		
	HEADWALL		
	CONTOURS		
	SPOT ELEVATION		
	DIRECTION OF OVERLAND FLOW		
	TOP OF CURB ELEVATION		
	BOTTOM OF CURB ELEVATION		
	TOP OF DEPRESSED CURB ELEVATION		

SCALE: 1" = 20'

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REV	DATE	DESCRIPTION
1	1/17/22	REVISED PER CITY OF BETHLEHEM COMMENTS

**C. RICHARD ROSEBERRY**  
REGISTERED PROFESSIONAL ENGINEER  
No. 40162  
C. Richard Roseberry  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT & MINOR SUBDIVISION PLAN FOR PERON DEVELOPMENT LLC**  
BLOCK 3A, WARD 4  
413 E. 3RD STREET (P6 2-2-13 0204)  
415 E. 3RD STREET (P6 2-2-14 0204)

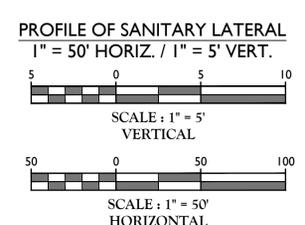
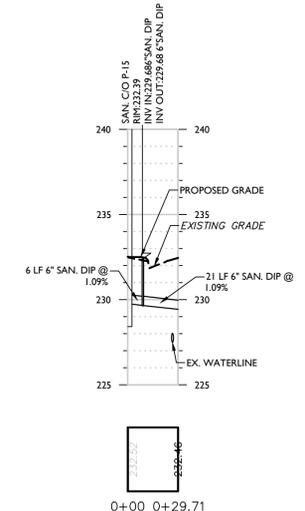
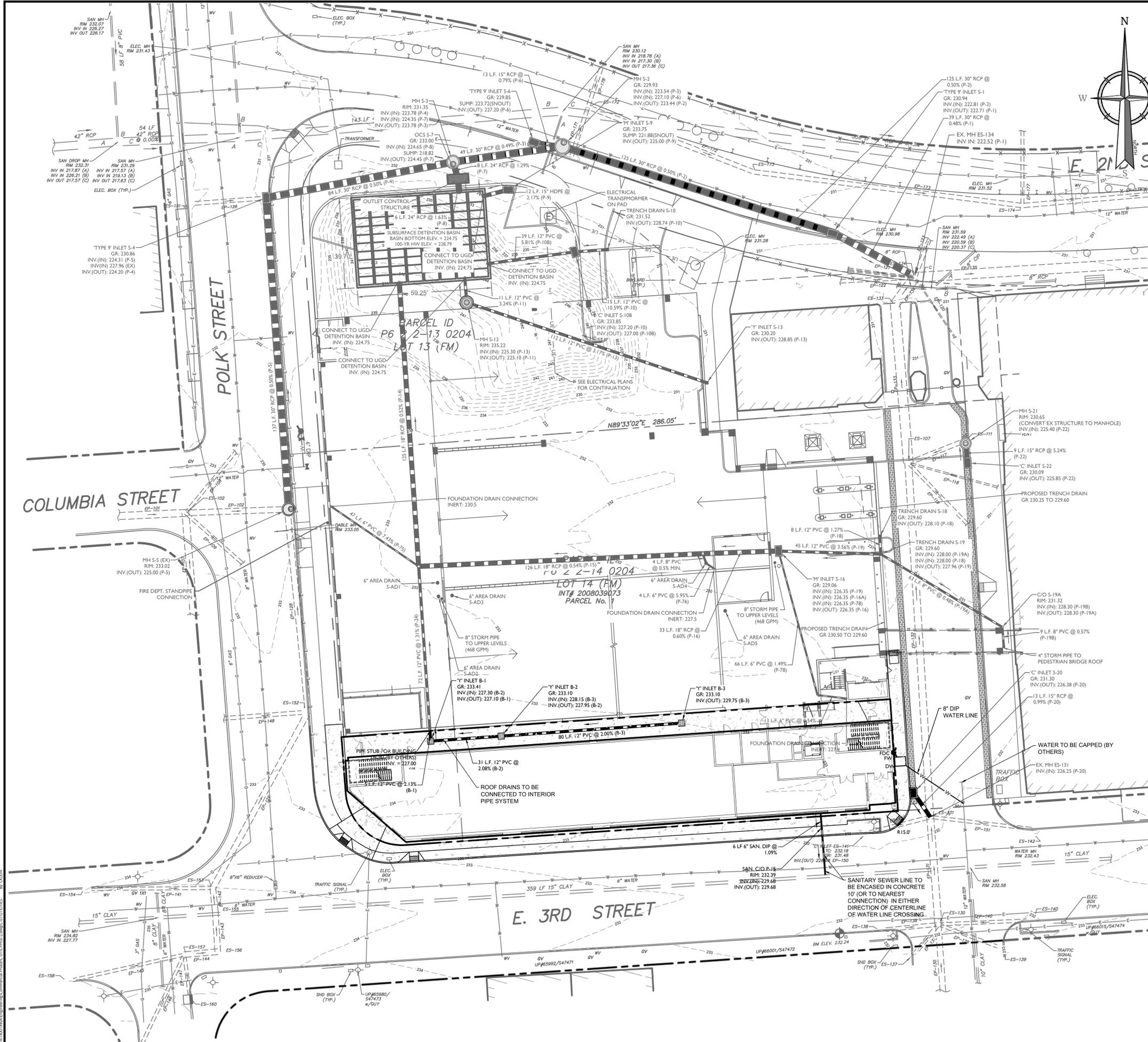
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SCALE: AS SHOWN DATE: 9/28/2021 DRAWN BY: CKJ CHECKED BY: CRR  
PROJECT NUMBER: 14001490D DRAWING NAME: C-GRAD-PHSE-2

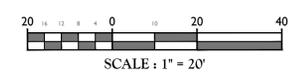
**GRADING PLAN**  
SHEET NUMBER: 6 of 15

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



- NOTE:**
- ALL PUBLIC INLETS SHALL HAVE INLET MARKERS APPROVED BY THE CITY ENGINEER
  - LOCATIONS OF ALL EXISTING ELECTRIC AND TELECOMMUNICATION CONDUIT ARE TO BE FIELD VERIFIED.

EXISTING		PROPOSED	
TRaverse line, center line or baseline (label as such)	---	---	---
RIGHT OF WAY LINE	---	---	---
PROPERTY LINE	---	---	---
EDGE OF PAVEMENT	---	---	---
CURB	---	---	---
DEPRESSED CURB	---	---	---
SIDEWALK	---	---	---
FENCES	---	---	---
TREELINE	---	---	---
WETLAND LINE	---	---	---
MUNICIPAL BOUNDARY LINE	---	---	---
'C' INLET	---	---	---
'M' INLET	---	---	---
STORM MANHOLE	---	---	---
SANITARY MANHOLE	---	---	---
FLARED END SECTION	---	---	---
HEADWALL	---	---	---
CABLE TV CONDUIT	---	---	---
WATER MAIN	---	---	---
GAS MAIN	---	---	---
TELEPHONE CONDUIT	---	---	---
ELECTRIC CONDUIT	---	---	---
SANITARY PIPE	---	---	---
STORM PIPE	---	---	---



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1	1/17/22	JK	REVISED PER CITY OF BETHLEHEM COMMENTS

**C. RICHARD ROSEBERY**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 46162  
 C. Richard Roseberry  
 PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: PE046162R  
 COLLIER'S ENGINEERING & DESIGN, INC.

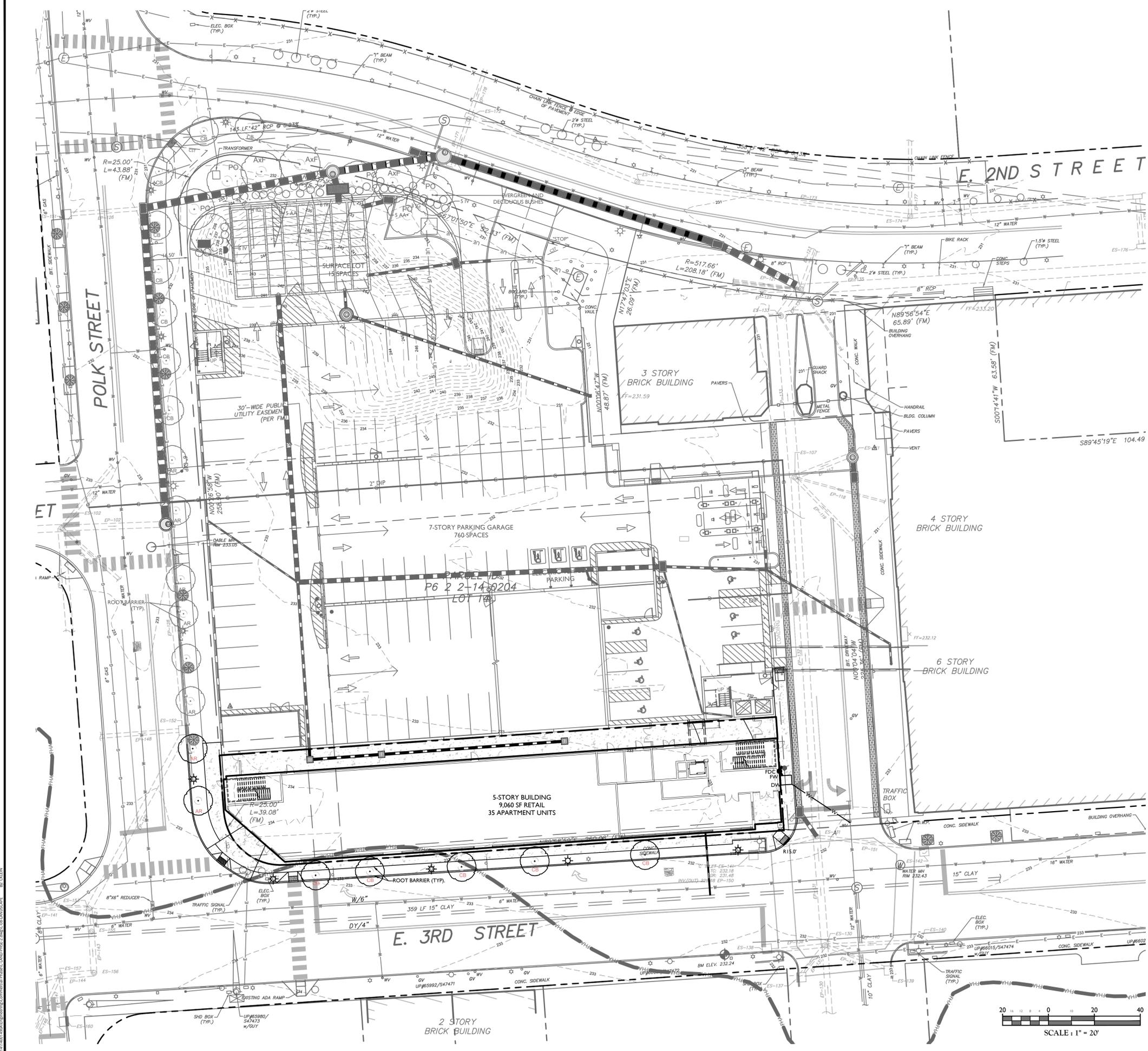
**PRELIMINARY & FINAL LAND DEVELOPMENT & MINOR SUBDIVISION PLAN FOR PERON DEVELOPMENT LLC**  
 BLOCK 3A, WARD 4  
 413 E. 3RD STREET (P6 2-13 0204)  
 415 E. 3RD STREET (P6 2-14 0204)

**CITY OF BETHLEHEM NORTHAMPTON COUNTY PENNSYLVANIA**

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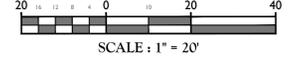
**UTILITIES PLAN**  
 SHEET NUMBER: 7 of 15

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



- GENERAL LANDSCAPE NOTES**
1. ALL EXISTING TREES ARE TO BE REMOVED.
  2. SEE LANDSCAPE PLANTING SCHEDULE FOR REQUIRED TREE PLANTINGS.
  3. ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN LANDSCAPE AND NURSERY ASSOCIATION.
  4. STREET AND PARKING LOT TREES SHOULD BE MINIMUM OF 14' IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT 7' ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT MAY HAVE THE FIRST BRANCH AT 6' ABOVE THE ROOT BALL.
  5. ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.
  6. A ROOT CONTROL SYSTEM IS REQUIRED WHEN INSTALLING STREET TREES. THE ROOT BARRIER SHALL BE OF THE BIO-BARRIER TYPE AND A MINIMUM OF 18" WIDE. ANY SUBSTITUTION SHALL BE APPROVED BY THE CITY FORESTER. THE ROOT CONTROL SYSTEM IS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TREE OPENINGS IN THE SIDEWALK SHALL HAVE THE BIO-BARRIER INSTALLED ALONG THE FACE OF THE TREE OPENING WHICH IS PARALLEL TO THE STREET AND CLOSEST TO THE PROPERTY LINE, OVERLAPPING THE NEAREST TWO CORNERS BY APPROXIMATELY 4". WHERE TREES ARE TO BE PLANTED IN A PARKWAY OR PLANTING STRIP BETWEEN CURB AND SIDEWALK, THE BARRIER SHALL BE INSTALLED ALONG THE SIDEWALK EDGE CLOSEST TO THE CURB AND CENTERED ON THE ROOT SOURCE. THE LENGTH OF THE BARRIER SHALL BE AT A MINIMUM LENGTH EQUAL TO THE SPREAD OF THE TREE CANOPY AT MATURITY PLUS 10'.
  7. THE MAINTENANCE OF THE LANDSCAPING WITHIN THE RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE ABUTTING PROPERTY OWNER.
  8. SEE SHEET 10 FOR LANDSCAPE SCHEDULE AND PLANTING DETAILS.

EXISTING		PROPOSED	
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)		RIGHT OF WAY LINE
	PROPERTY LINE		EDGE OF PAVEMENT
	FACE OF CURB		DEPRESSED CURB
	SIDEWALK		FENCES
	TREELINE		ROADWAY SIGNS
	WETLAND BOUNDARY LINE		'C' INLET
	'M' INLET		STORM MANHOLE
	SANITARY MANHOLE		FLARED END SECTION
	HEADWALL		HYDRANT
	POLE MOUNTED LIGHT		CABLE TV CONDUIT
	WATER MAIN		GAS MAIN
	TELEPHONE CONDUIT		ELECTRIC CONDUIT
	SANITARY PIPE		STORM PIPE



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**C. RICHARD ROSEBERRY**  
REGISTERED PROFESSIONAL ENGINEER  
No. 46162

**C. Richard Roseberry**  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT & MINOR SUBDIVISION PLAN FOR PERON DEVELOPMENT LLC**

FOR  
**PERON DEVELOPMENT LLC**

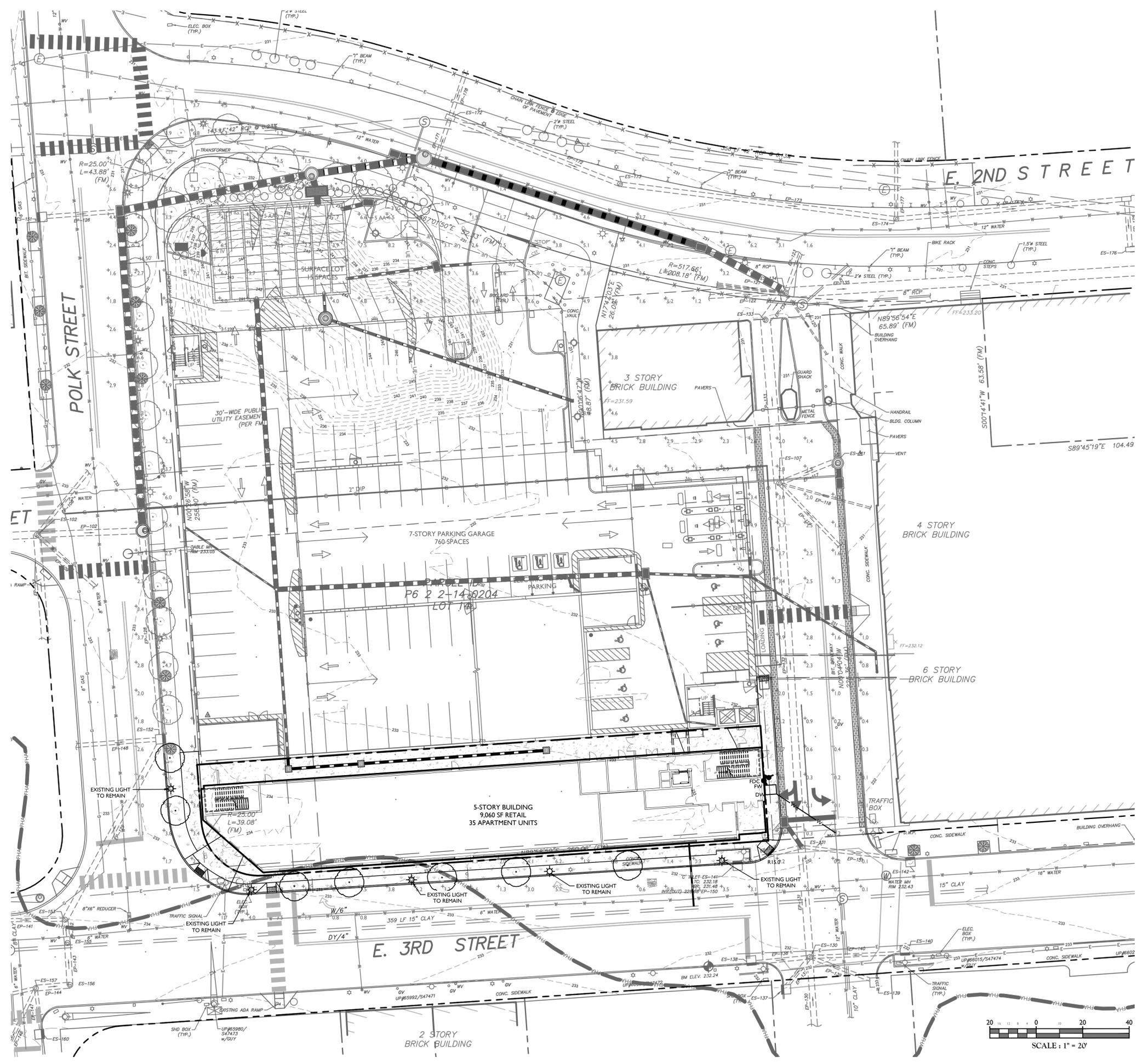
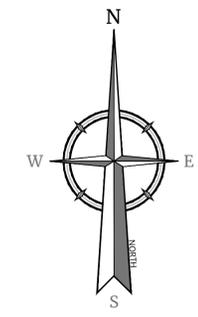
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CITY OF BETHLEHEM  
NORTHAMPTON COUNTY  
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SCALE: AS SHOWN DATE: 9/28/2021 DRAWN BY: JAD CHECKED BY: CRR  
PROJECT NUMBER: 140014900 DRAWING NAME: C-LAND-PHSE-2  
SHEET TITLE: LANDSCAPE PLAN  
SHEET NUMBER: 8 of 15

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

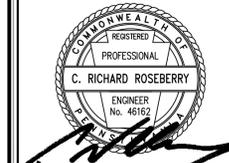
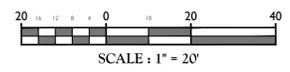


Luminaire Schedule

Symbol	Quantity	Description	Mounting
⬤	4	21st Century Town Square: COA155S12P11ABGBK - LS2110ABKH - GWLF200/SCABKH - AB-31-4 RFD8497B - GP15AHPMC 2BS94CHP27 S-67516	POLE
⬢	6	BEACON: (2)VP-S160NB-136/ SKT5WUNW/BCW/SF22XXX (1)SSS-B-20-40-A-2-R2-XXX -VM1 (1)JASM-TABLET-BCW	SURF.

- LIGHTING PLAN NOTES
1. THIS PLAN IS TO BE USED FOR LIGHTING PURPOSES ONLY.
  2. LUMINAIRES AS DETAILED OR APPROVED EQUAL.
  3. LUMINAIRES SHALL BE POLE WITH LED LAMPS AND PHOTOCELLS.
  4. POLE LOCATIONS ARE APPROXIMATE AND MAY VARY DUE TO SITE CONDITIONS. THE CONTRACTOR SHALL FIELD VERIFY POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, PAVEMENT, CURB, ETC.
  5. EXISTING LIGHTS TO BE RELOCATED AS SPECIFIED ON PLANS.
  6. WALL PACK LIGHTS TO BE MOUNTED AT A HEIGHT OF 18 FEET AND SHALL INCLUDE FULL CUTOFF LUMENS AND BE GLARE FREE.
  7. SEE SHEET 10 FOR LIGHTING DETAILS.

EXISTING	LEGEND	PROPOSED
---	TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	---
---	RIGHT OF WAY LINE	---
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
---	'C' INLET	---
---	'M' INLET	---
---	STORM MANHOLE	---
---	SANITARY MANHOLE	---
---	FLARED END SECTION	---
---	HEADWALL	---
---	HYDRANT	---
---	POLE MOUNTED LIGHT	---
---	CABLE TV CONDUIT	---
---	WATER MAIN	---
---	GAS MAIN	---
---	TELEPHONE CONDUIT	---
---	ELECTRIC CONDUIT	---
---	SANITARY PIPE	---
---	STORM PIPE	---



**C. Richard Roseberry**  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT & MINOR SUBDIVISION PLAN FOR PERON DEVELOPMENT LLC**  
BLOCK 3A, WARD 4  
413 E. 3RD STREET (P6 2 2-13 0204)  
415 E. 3RD STREET (P6 2 2-14 0204)

**CITY OF BETHLEHEM NORTHAMPTON COUNTY PENNSYLVANIA**

**Colliers Engineering & Design**  
LEHIGH VALLEY  
941 Marcon Boulevard, Suite 801  
Allentown, PA 18109  
Phone: 610.868.4201  
COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN	DATE: 9/28/2021	DRAWN BY: JMB	CHECKED BY: CR
PROJECT NUMBER: 140014900	DRAWING NUMBER: C-LAND-PHSE-2		

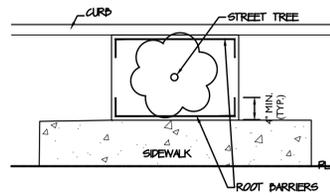
**LIGHTING PLAN**

**GENERAL PLANTING NOTES**

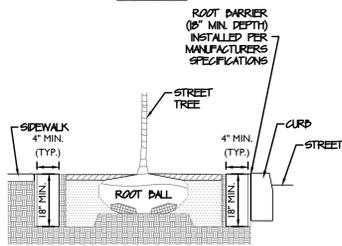
- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERS DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, AND STRUCTURES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT OR TOWNSHIP OFFICIALS. WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED.
- THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING DEPT LINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. NO SHADE TREE, STREET TREE, ORNAMENTAL, PLUMBING TREE OR EVERGREEN TREE SHALL BE PLANTED CLOSER THAN 1/2 FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY LOCATION UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN.
- ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. ALL PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 20' ABOVE THE ELEVATION OF THE ADJACENT CURB. ALL STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT HAVE BRANCHES BELOW 8'-0".
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- ALL PLANT MATERIAL SHALL BE PROPERLY BUNDLED, STAKED, WRAPPED AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. BUY Wires SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS TO NOT SPLIT THE TRUNKS OF MULTI-STEM TREES. PROVIDE THREE TREE STAKES PER TREE UNLESS NOTED OTHERWISE. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURAP FROM TOP ONE-THIRD OF THE ROOT BALL.
- BRANCHES OF DECIDUOUS TREES SHALL BE PRUNED BACK BY NO MORE THAN ONE QUARTER (1/4) TO BALANCE THE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR CHARACTER AND SHAPE. THE CENTRAL LEADER OF TREE SHALL NOT BE PRUNED.
- PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL. IF BEST SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE AT NURSERY.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING THE STUMP, AND REPLACED BY A TREE OF SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR.

**PLANT SCHEDULE**

STREET TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	GAL
AR	2	Acer rubrum 'Armstrong' / Armstrong Red Maple	B4B	MIN 2.5'Gal (TRIMMED TO 1' ABOVE GRADE)
CB	5	Carpinus betulus 'Fastigiata' / Pyramidal European Hornbeam	B4B	MIN 2.5'Gal (TRIMMED TO 1' ABOVE GRADE)



PLAN VIEW



SECTION VIEW

ROOT BARRIER DETAIL  
N.T.S.

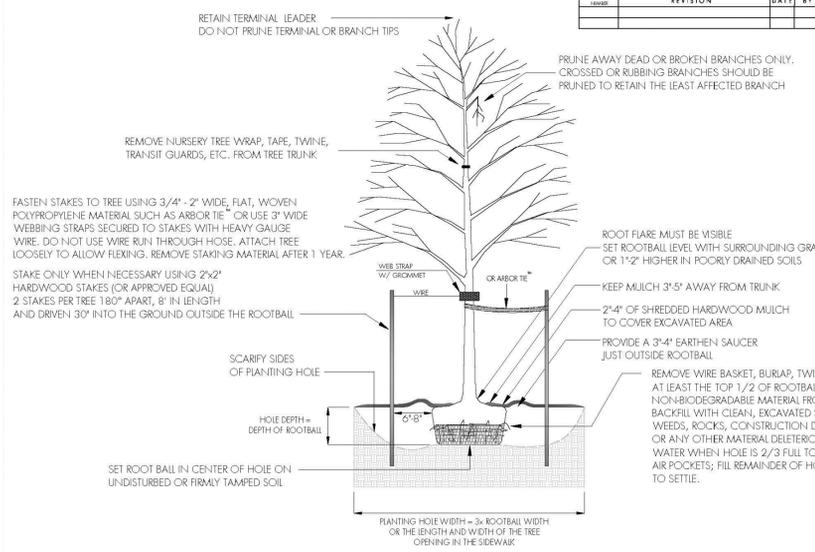
**NOTE:**  
BARRIER TO BE INSTALLED (BIO-BARRIER OR APPROVED EQUAL) IN ALL THE TREE WELLS ALONG THE CURB LINE AND ALONG THE EDGE OF THE SIDEWALK PARALLEL TO THE CURB. THE BARRIER SHALL BE WRAPPED A MINIMUM OF 4" INCHES ALONG THE SIDE OF THE TREE WELL.

Existing Trees to be Removed.	ROW	Parking		Commercial
		Garage Phase	Phase	
On-Site (greater than 8" caliper)	35	23	12	
On-Site (less than 8" caliper)	2	2	0	
<b>Tree Replacement per Zoning</b>				
ROW (1 tree every 40 feet per IR-R requirement)	24	17	7	
On-site (2 per every 8" + caliper tree removed)	70	46	24	
Surface Lot (1 tree every 15 spaces)	1	1	0	
<b>Proposed Trees</b>				
ROW	24	17	7	
On-site	5	5	0	
Surface Lot	1	1	0	

Additional needed trees to be established on the streetscape and other public areas as determined by COB.

NO.	REVISION	DATE	BY

CITY of BETHLEHEM  
CITY FORESTER  
10 EAST CHURCH STREET  
BETHLEHEM, PA. 18018  
AUGUST 2012  
DRAWING NOT TO SCALE



APPENDUM #4 REVISIONS

**Colliers**  
Engineering & Design  
www.colliersengineering.com

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Doing Business as **MASER CONSULTING**

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Know what's below. Call before you dig. 201.423.50223  
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV.	DATE	DESCRIPTION	REVISION PER CITY OF BETHLEHEM COMMENTS
1	11/17/22	CK	

**C. RICHARD ROSEBERRY**  
REGISTERED PROFESSIONAL ENGINEER  
ENGINEER No. 46162  
C. Richard Roseberry  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

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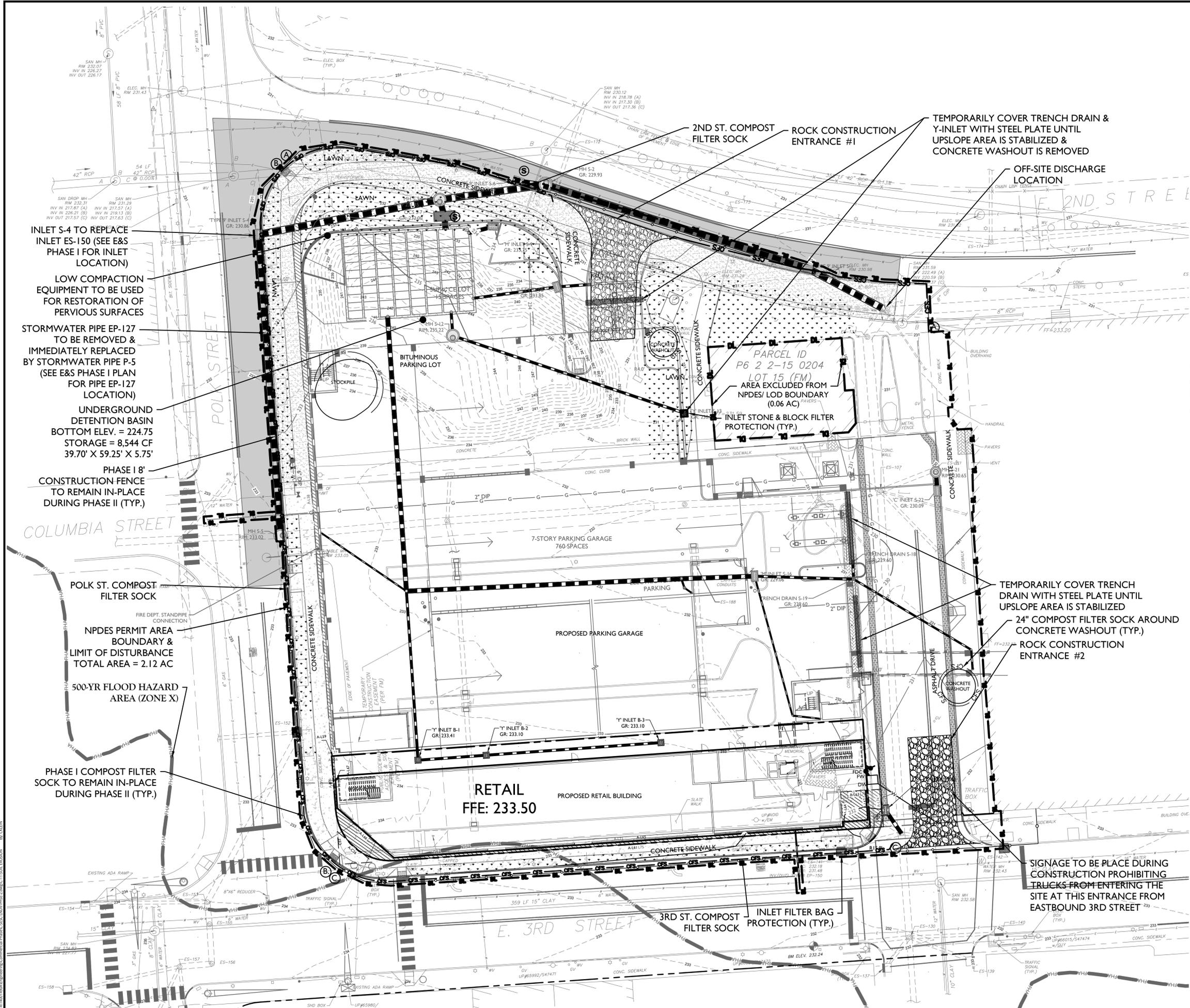
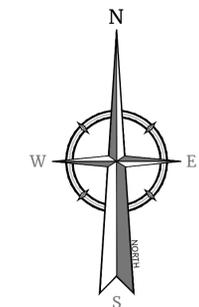
SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	9/28/2021	CK	CKR

PROJECT NUMBER: 140014900  
DRAWING NAME: C-LAND-PHSE-2

SHEET TITLE: **LANDSCAPING & LIGHTING DETAILS**

SHEET NUMBER: 10 of 15

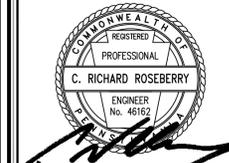
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



NOTE: THIS PROJECT IS THE SECOND PHASE IN A TWO PHASE PROJECT. THE SOIL EROSION & SEDIMENT CONTROL AND POST-CONSTRUCTION STORMWATER MANAGEMENT DESIGN IS TO FOLLOW THE OVERALL PERMIT FOR THE PROJECT. REFER TO APPROVED EROSION & SEDIMENT CONTROL PLANS AND POST-CONSTRUCTION STORMWATER MANAGEMENT PLANS ASSOCIATED WITH NPDES PERMIT NO. PAC480089 FOR DESIGN AND DETAILS.

E&S LEGEND

- | EXISTING | PROPOSED | DESCRIPTION                                      |
|----------|----------|--|
| ---      | ---      | RIGHT OF WAY LINE                                |
| ---      | ---      | PROPERTY LINE                                    |
| ---      | ---      | EDGE OF PAVEMENT                                 |
| ---      | ---      | CURB   |
| ---      | ---      | DEPRESSED CURB                                   |
| ---      | ---      | "M" INLET (WITH INLET PROTECTION)                |
| ---      | ---      | "C" INLET (WITH INLET PROTECTION)                |
| ---      | ---      | 1.5' YARD INLET (WITH INLET PROTECTION)          |
| ---      | ---      | 6" RECTANGULAR "M" INLET (WITH INLET PROTECTION) |
| ---      | ---      | MANHOLE  |
| ---      | ---      | UTILITY POLE                                     |
| ---      | ---      | FLARED END SECTION                               |
| ---      | ---      | HEADWALL   |
| ---      | ---      | WATER MAIN                                       |
| ---      | ---      | GAS MAIN   |
| ---      | ---      | ELECTRIC CONDUIT                                 |
| ---      | ---      | SANITARY PIPE                                    |
| ---      | ---      | STORM PIPE                                       |
| ---      | ---      | TRELINE  |
| ---      | ---      | SOIL BOUNDARY                                    |
| ---      | ---      | SOIL TYPE LABEL                                  |
| ---      | ---      | VEGETATION                                       |
| ---      | ---      | SHADE TREE                                       |
| ---      | ---      | DECIDUOUS TREE                                   |
| ---      | ---      | ORNAMENTAL TREE                                  |
| ---      | ---      | EVERGREEN TREE                                   |
| ---      | ---      | RESIDENTIAL BUILDING                             |
| ---      | ---      | COMMERCIAL BUILDING                              |
| ---      | ---      | SOIL PROBE                                       |
| ---      | ---      | SOIL PROBE - SUITABLE                            |
| ---      | ---      | TEST PIT   |
| ---      | ---      | INFILTRATION TEST PIT                            |
| ---      | ---      | MINOR E&S CONTOUR                                |
| ---      | ---      | MAJOR E&S CONTOUR                                |
| ---      | ---      | PRE-DEVELOPMENT DRAINAGE DIVIDE                  |
| ---      | ---      | POST-DEVELOPMENT DRAINAGE DIVIDE                 |
| ---      | ---      | INDIVIDUAL INLET SHED/SWALE DIVIDE               |
| ---      | ---      | LIMITS OF DISTURBANCE & NPDES BOUNDARY           |
| ---      | ---      | COMPOST FILTER SOCK                              |
| ---      | ---      | CONSTRUCTION FENCE                               |
| ---      | ---      | ROCK CONSTRUCTION ENTRANCE W/ WASH RACK          |
| ---      | ---      | SHOUT  |



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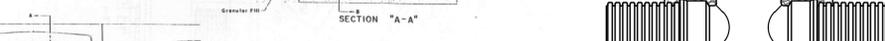
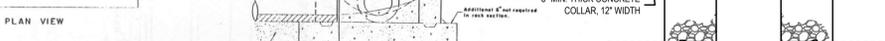
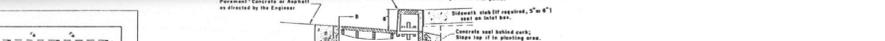
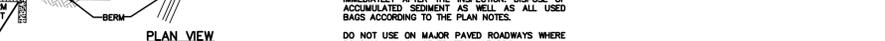
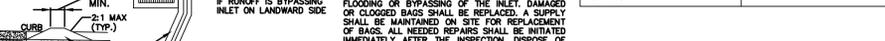
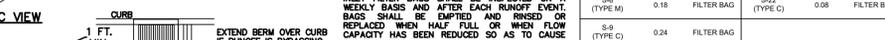
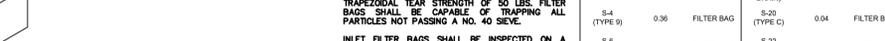
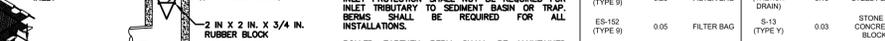
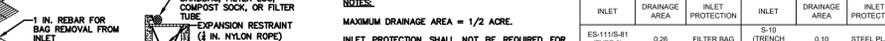
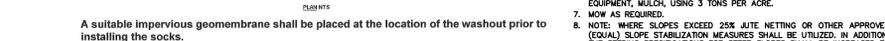
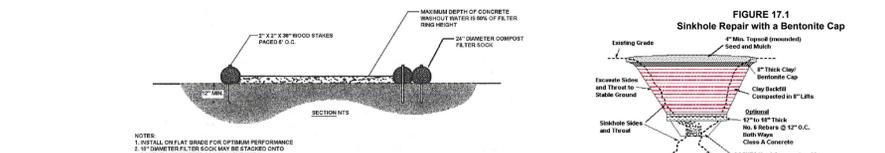
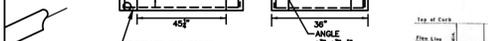
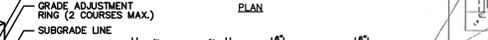
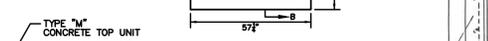
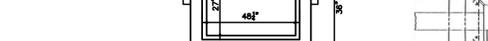
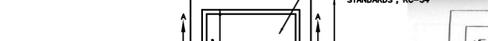
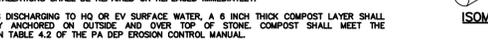
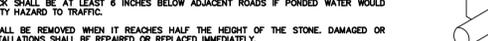
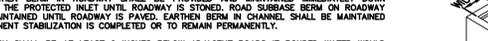
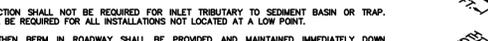
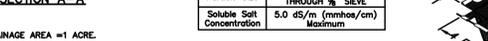
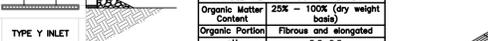
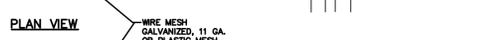
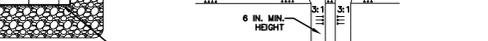
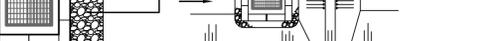
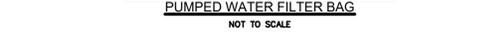
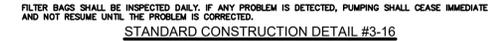
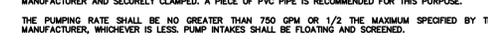
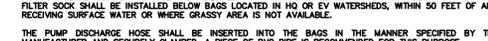
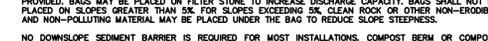
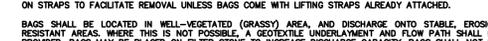
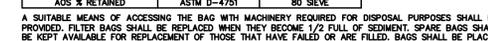
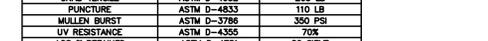
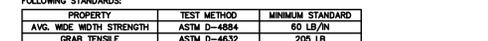
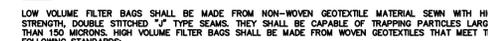
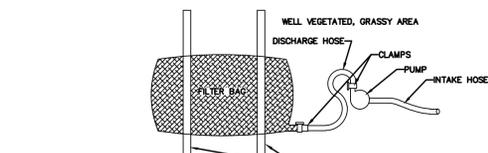
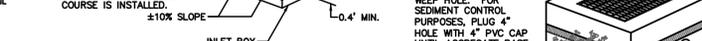
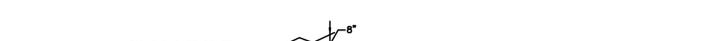
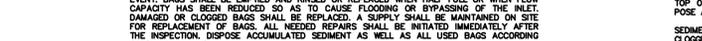
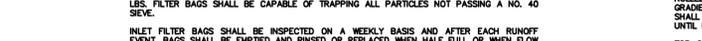
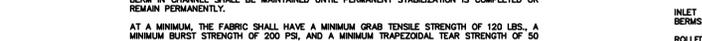
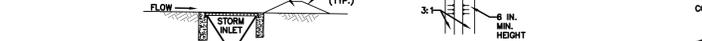
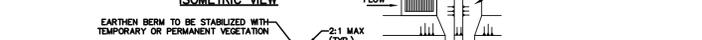
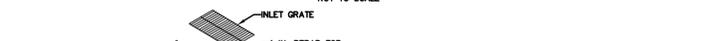
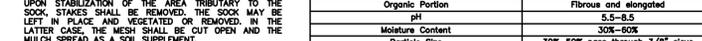
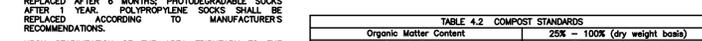
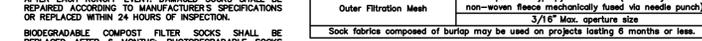
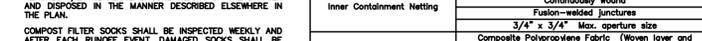
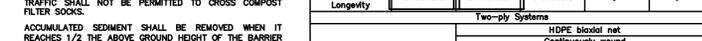
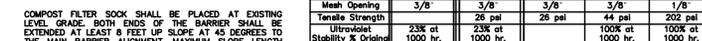
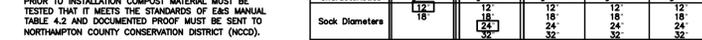
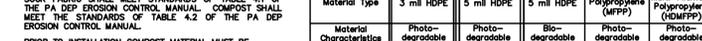
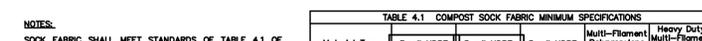
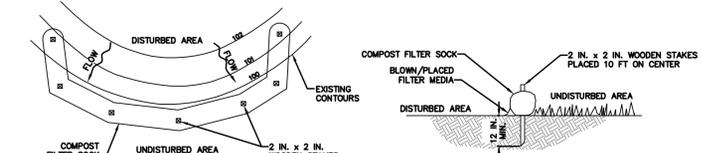
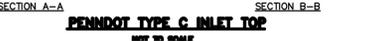
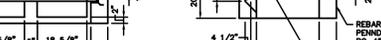
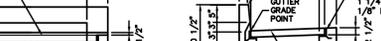
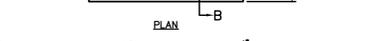
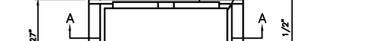
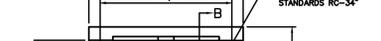
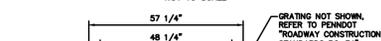
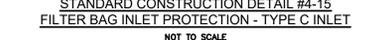
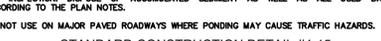
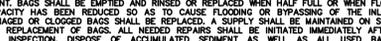
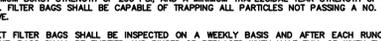
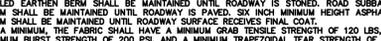
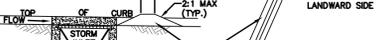
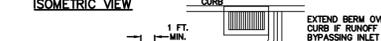
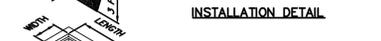
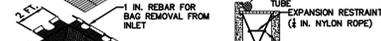
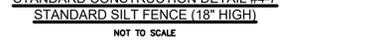
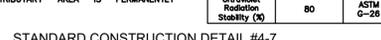
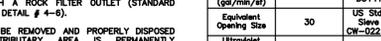
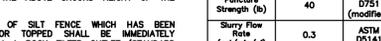
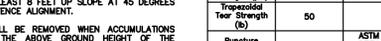
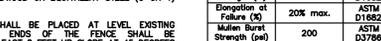
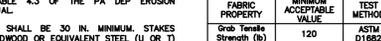
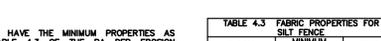
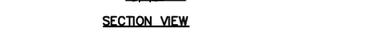
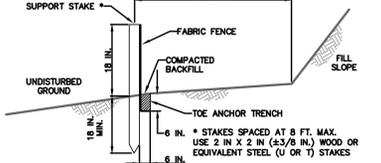
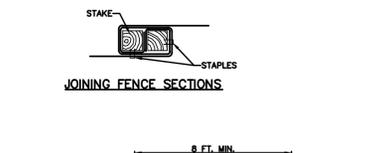
CITY OF BETHLEHEM  
NORTHAMPTON COUNTY  
PENNSYLVANIA

LEHIGH VALLEY  
941 Marcon Boulevard,  
Suite 801  
Allentown, PA 18109  
Phone: 610.868.4201  
COLLIERS ENGINEERING & DESIGN, INC.  
DOING BUSINESS AS MASER CONSULTANTS

SCALE: AS SHOWN	DATE: 9/28/2021	DRAWN BY: CJK	CHECKED BY: CR
PROJECT NUMBER: 14001490D	DRAWING NUMBER: C-SEC-LNDV-PHSE-2		

SOIL EROSION & SEDIMENT CONTROL PLAN





STANDARD CONSTRUCTION DETAIL #4-7 STANDARD SILT FENCE (18" HIGH)

NOT TO SCALE

ISOMETRIC VIEW

INSTALLATION DETAIL

SECTION VIEW

PLAN VIEW

NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-15 FILTER BAG INLET PROTECTION - TYPE C INLET

NOT TO SCALE

ISOMETRIC VIEW

INSTALLATION DETAIL

SECTION VIEW

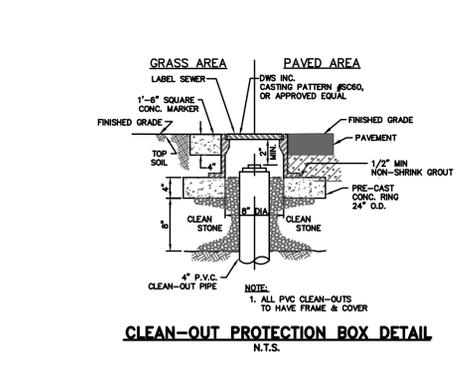
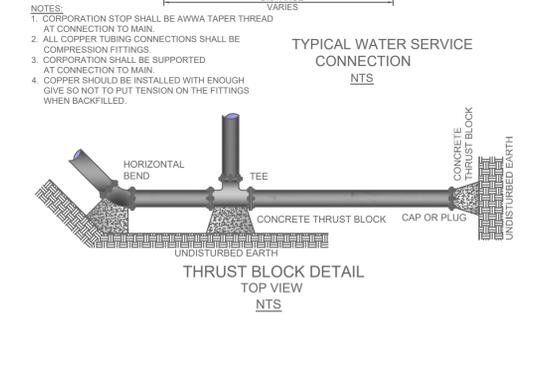
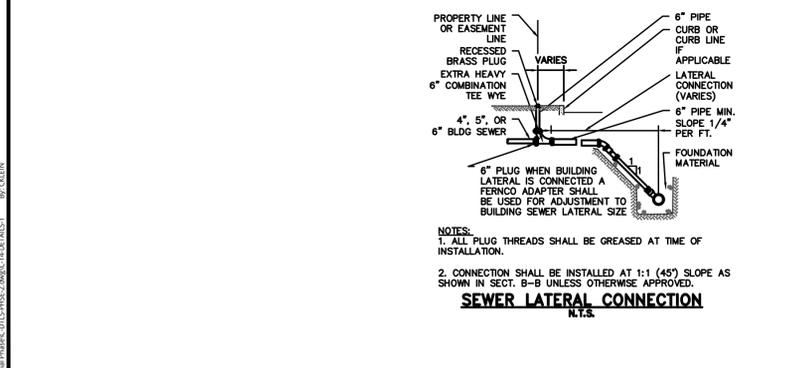
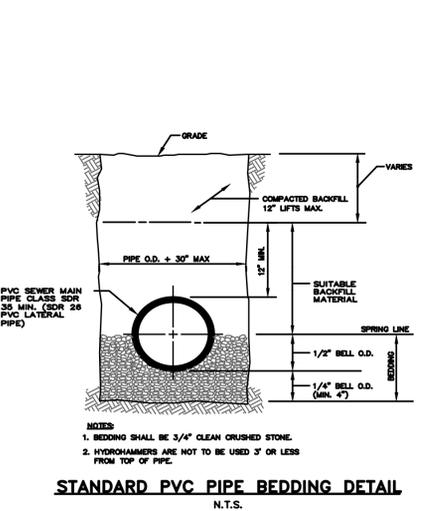
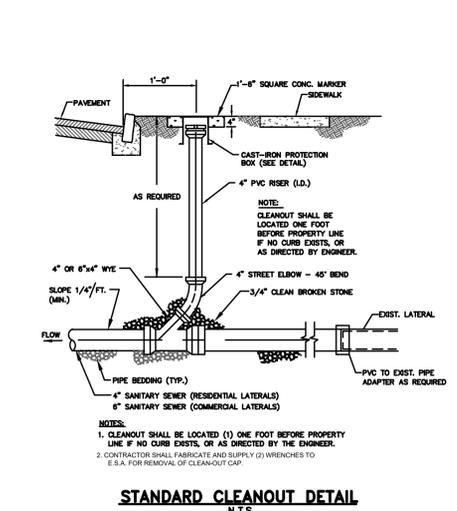
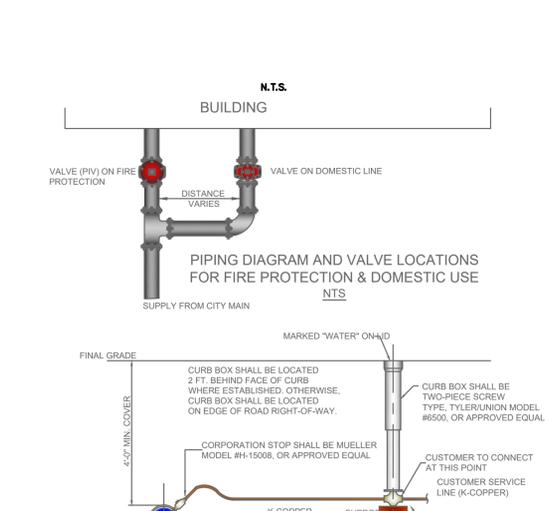
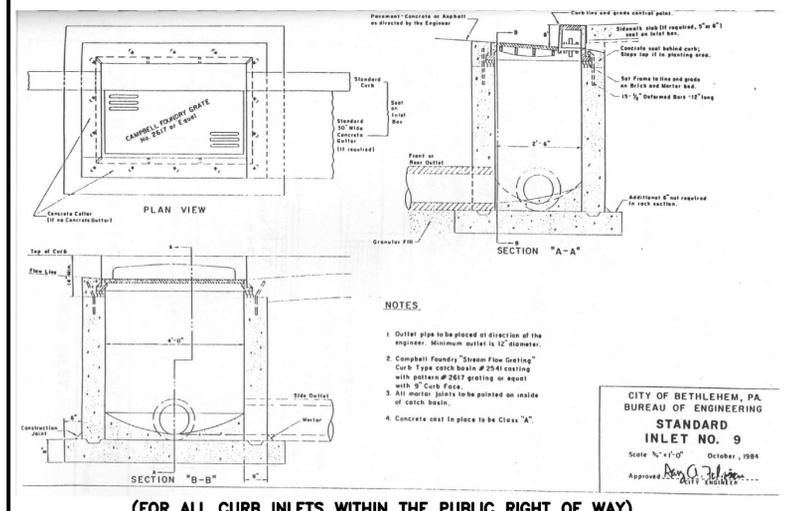
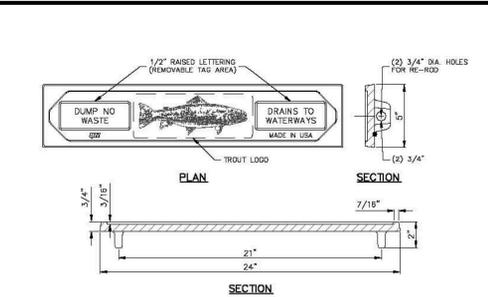
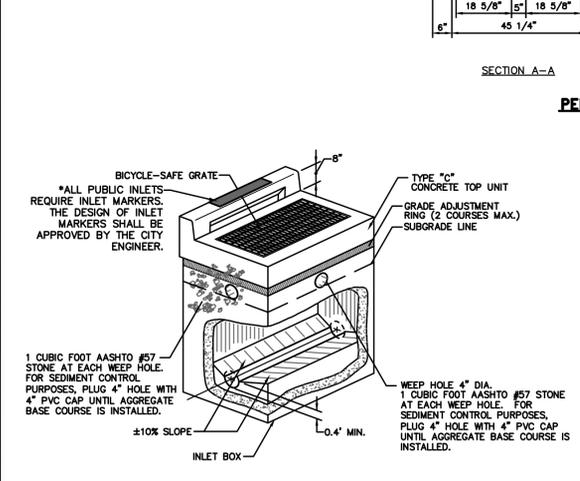
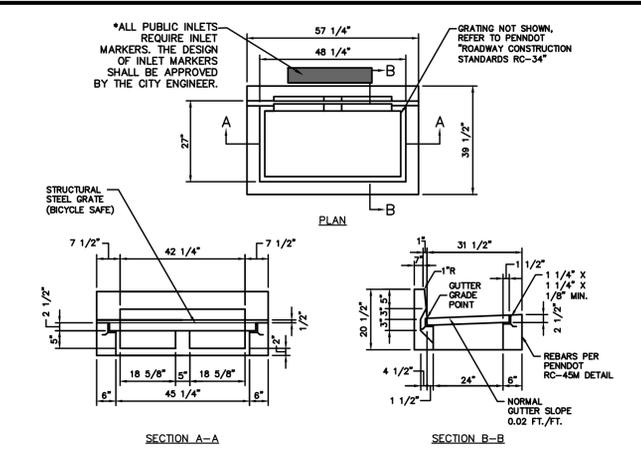
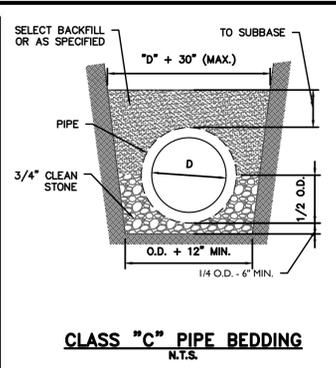
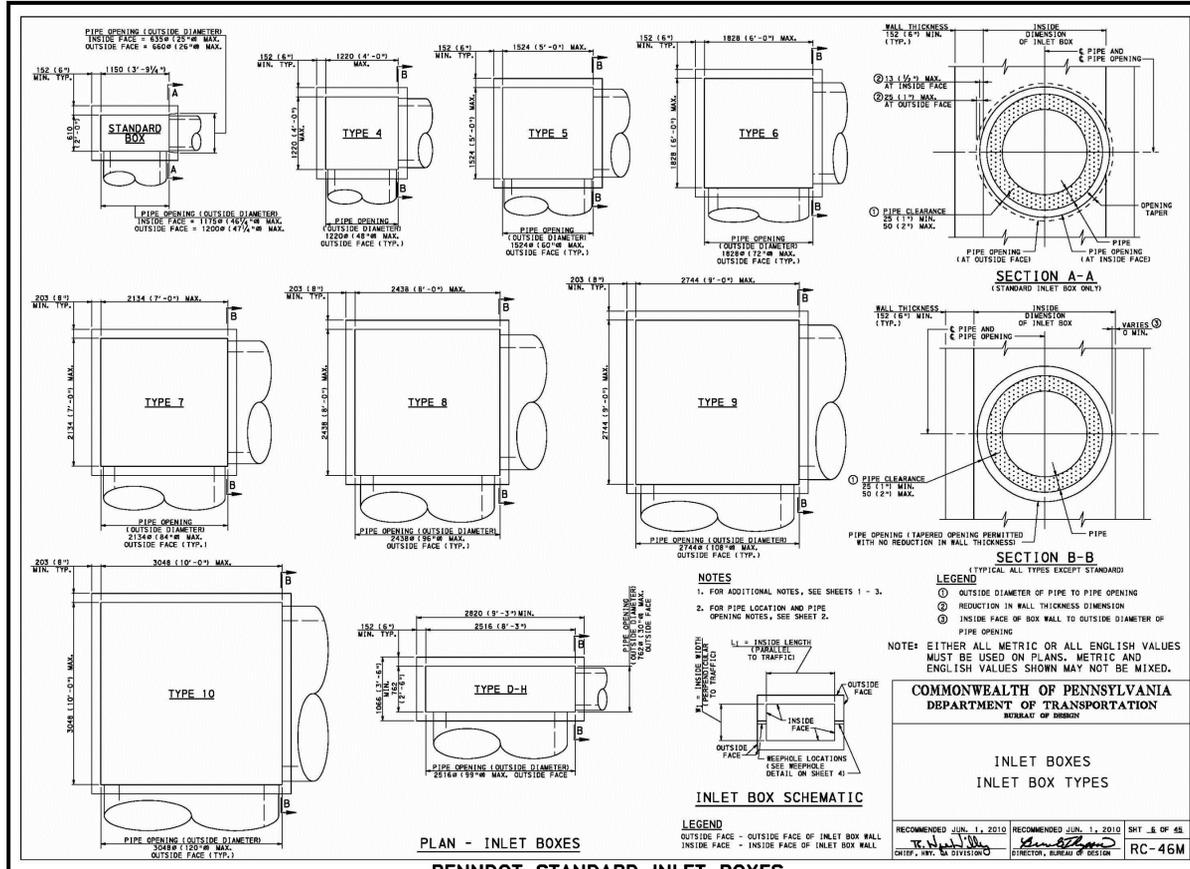
PLAN VIEW

NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROAD



**Colliers**  
 Engineering & Design

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Doing Business as **MASER**

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ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

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REV.	DATE	DRAWN BY	DESCRIPTION
1	1/17/22	CK	REVISED PER CITY OF BETHLEHEM COMMENTS

**C. RICHARD ROSEBERRY**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 40162

**C. Richard Roseberry**  
 PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: PE046162R  
 COLLIERS ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT & MINOR SUBDIVISION PLAN FOR PERON DEVELOPMENT LLC**

BLOCK 3A, WARD 4  
 413 E. 3RD STREET (P6 2-2-13 0204)  
 415 E. 3RD STREET (P6 2-2-14 0204)

**CITY OF BETHLEHEM NORTHAMPTON COUNTY PENNSYLVANIA**

**Colliers**  
 Engineering & Design

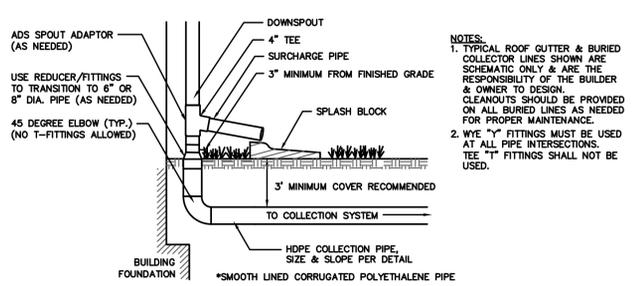
LEHIGH VALLEY  
 941 Marcon Boulevard,  
 Suite 801  
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 Phone: 610.868.4201  
 COLLIERS ENGINEERING & DESIGN, INC.  
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 DRAWN BY: CJK  
 CHECKED BY: CRR

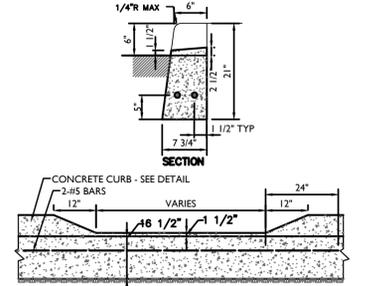
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SHEET TITLE: CONSTRUCTION DETAILS

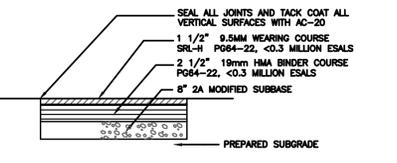
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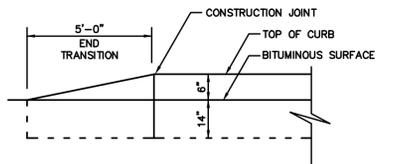
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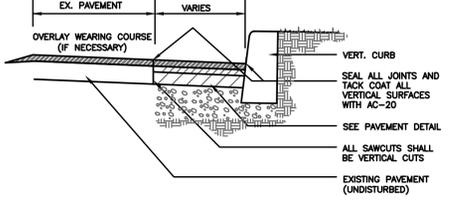
**DEPRESSED CURB**  
N.T.S.



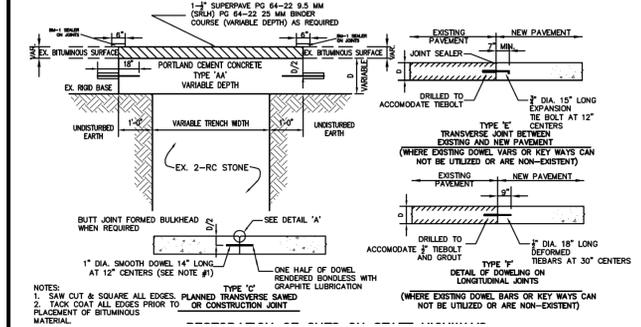
**ENTRY DRIVE PAVEMENT DETAIL**  
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**END CURB TRANSITION DETAIL**  
NOT TO SCALE



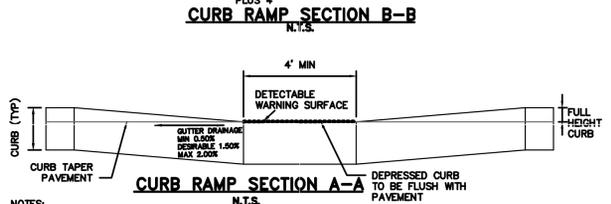
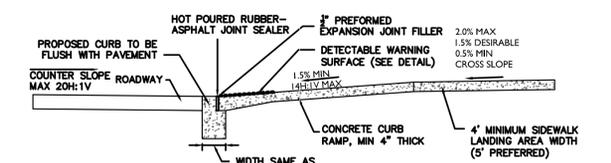
**SAWCUT DETAIL**  
NOT TO SCALE



**CONCRETE ROAD PAVEMENT REPAIR DETAIL**  
NOT TO SCALE  
(TO BE USED ON THIRD STREET AS NECESSARY)

- CURB RAMP NOTES:**
- THE CONTRACTOR SHALL PREPARE SHOP DRAWINGS OF EACH CURB RAMP FOR SUBMISSION AND APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL, COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
  - LANDING AREA, APPROACH SIDEWALK TRANSITIONS AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
  - CURB (DROPPED CURB) GUTTER-LINE TO BE FLUSH WITH ROADWAY PAVEMENT.
  - CROSSWALKS AND PAVEMENT MARKINGS TO BE INSTALLED AS DENOTED ON SITE PLAN.
  - MAXIMUM RAMP SLOPE MAY BE 12H:1V UPON APPROVAL OF ENGINEER. RAMP SLOPES SHOWN ARE THE PREFERRED SLOPE. SIDE FLARE SLOPES MAY BE 10H:1V UPON THE APPROVAL OF THE ENGINEER.
  - MINIMUM RAMP CROSS-SLOPE SHALL BE 0.50% OR THE MAXIMUM RAMP CROSS-SLOPE MAY BE 2.00% UPON APPROVAL OF THE ENGINEER. CROSS-SLOPES SHOWN IN THE DETAILS ARE THE PREFERRED SLOPE MAINTAIN A LEVEL OF CONSTRUCTION TOLERANCE.
  - ACCESSIBLE RAMPS SHALL BE INSTALLED PURSUANT WITH THE CURRENT UNITED STATES ACCESS BOARD ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES AND THE ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE AND OTHER APPLICABLE LOCAL AND STATE STANDARDS IN EFFECT AT THE DATE OF CONSTRUCTION.

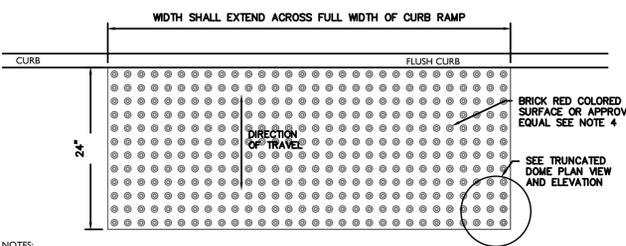
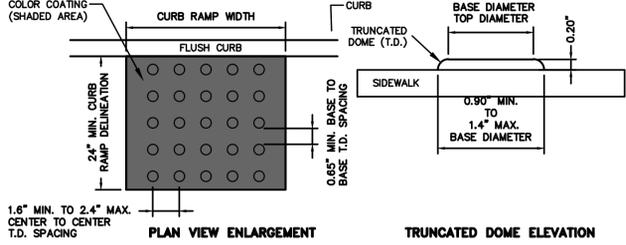
**CURB RAMP NOTES**



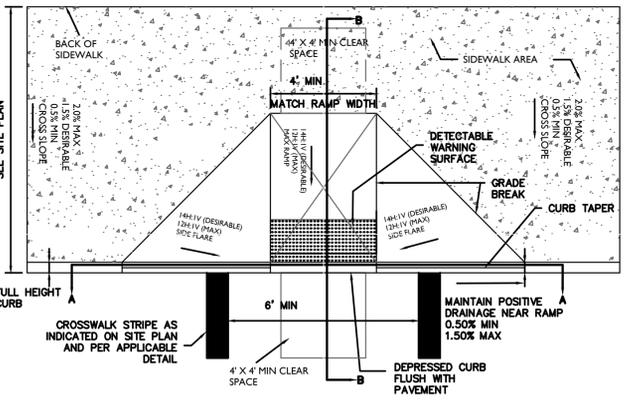
- NOTES:**
- DEPRESSED CURB AT DETECTABLE WARNING SHALL BE A SMOOTH LEVEL SURFACE THAT IS FLUSH WITH THE ADJOINING PAVEMENT. NO BUMPS OR ROUGH SURFACE ARE ALLOWED. SUCH UNEVENNESS SHALL BE MILLED OR GRINDER SMOOTH.
  - POSITIVE DRAINAGE SHALL BE MAINTAINED AT RAMP. RAMP SHALL SLOPE TOWARDS PAVEMENT NO PONDING OF WATER IS PERMITTED AT CURB RAMP. PAVEMENT GRADES TO BE ADJUSTED AS NECESSARY TO PROVIDE POSITIVE DRAINAGE.
  - CURB (DROPPED CURB) GUTTER-LINE TO BE FLUSH WITH ROADWAY PAVEMENT.
  - MAXIMUM GUTTER DRAINAGE GRADE MAY BE INCREASED TO 2.00% UPON THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.
  - DEVIATION FROM THIS DETAIL REQUIRES THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.

- DEVIATION FROM THE CURB RAMP DETAIL REQUIRES THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL, COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
- THE RAMP SURFACE SHALL BE A NON-SLIP, HAND BROOMED FINISH OF CONCRETE SURFACES.
- THE RAMP SURFACE SHALL BE A NON-SLIP, HAND BROOMED FINISH OF CONCRETE SURFACES.
- CONCRETE EXPANSION JOINTS SHALL BE FIRM SURFACES, WITH CONCRETE EDGES 1/4" BEVELED, AND WITH THE JOINT SURFACE NOT MORE THAN 1/4" BELOW THE ADJOINING CONCRETE SURFACE.
- CURB RAMPS MUST BE WHOLLY CONTAINED WITHIN THE CROSSWALK CROSSING.
- THE CLEAR SPACE SHALL BE INCREASED TO 5 FEET WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF THE SIDEWALK.
- ON CURVED CROSSWALKS, THE MAXIMUM SEPARATION BETWEEN THE CURB AND DETECTABLE WARNING SURFACE SHALL NOT EXCEED 5 FEET. THE MAXIMUM SEPARATION AREA MAY BE WITHIN THE 4' BY 4' CLEAR ZONE. A SHOP DRAWING SHALL BE SUBMITTED PRIOR TO CONSTRUCTION FOR APPROVAL.

**DETECTABLE WARNING SURFACE**  
N.T.S.



- NOTES:**
- THE DETECTABLE WARNING SURFACE SHALL BE MANUFACTURED MATS THAT ARE EMBEDDED AND CAST-IN-PLACE IN THE CONCRETE.
  - THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SHOP DRAWING OF THE DETECTABLE WARNING SURFACE PRIOR TO CONSTRUCTION FOR APPROVAL.
  - THE CONTRACTOR SHALL PROVIDE A MANUFACTURER CERTIFICATION THAT THE DETECTABLE WARNING SURFACE COMPLIES WITH THE CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE DEPARTMENT OF JUSTICE AND THE ADA STANDARDS AS SUPPORTED BY THE UNITED STATES ACCESS BOARD, AND THE STATE AND/OR LOCAL ADA STANDARDS.
  - BRICK RED SHALL BE APPROVED BY THE LOCAL JURISDICTION PRIOR TO INSTALLATION. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.
  - DETECTABLE WARNING SURFACES SHALL CONSIST OF A SURFACE OF TRUNCATED DOMES AND SHALL COMPLY DETECTABLE WARNING.
  - TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A BASE DIAMETER OF 0.9 INCH (23 mm) MINIMUM AND 1.4 INCHES (36 mm) MAXIMUM, A TOP DIAMETER OF 50 PERCENT OF THE BASE DIAMETER MINIMUM TO 45 PERCENT OF THE BASE DIAMETER MAXIMUM, AND A HEIGHT OF 0.2 INCH (5.1 mm).
  - TRUNCATED DOMES IN DETECTABLE WARNING SURFACE SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6 INCHES (41 mm) MINIMUM AND 2.4 INCHES (61 mm) MAXIMUM, AND A BASE-TO-BASE SPACING OF 0.65 INCH (17 mm) MINIMUM, MEASURED BETWEEN THEIR MOST ADJACENT DOMES ON A SQUARE GRID.
  - DETECTABLE WARNING SURFACE SHALL BE INSTALLED, PER CITY OF BETHLEHEM STANDARDS, WITH ANCHORS AND BE REMOVABLE IN CASE OF DAMAGE.



**CURB RAMP TYPE 1**  
N.T.S.

City of Bethlehem, PA Bureau of Engineering  
**CONSTRUCTION STANDARD NO. 1**  
 for CONCRETE CURB, GUTTER and SIDEWALK  
 February 7, 2020  
 REVISED PER CITY OF BETHLEHEM COMMENTS

**GENERAL REQUIREMENTS:**  
 One Laborer (Minimum) Construction for all Curb, Gutter and Sidewalk.  
 Concrete Mix - To be Class B Concrete 3500/6 Bag Mix - 5.6 Gal. Water per bag throughout.  
 Curb: 21" Depth with approved finish on top and exposed face.  
 Gutter: 8" Depth - Slope of Gutter 1/2" rise per foot away from curb.  
 Sidewalk: Thickness - Residential Areas - 5". Business and Industrial Areas - 6".  
 Finish - Use a float and broom finish to produce a resistant surface.  
 On Grades of 5% or more, produce a rougher finish.  
 Slope - Walk and Parkway Areas 1/4" per foot (2%) toward curb.  
 Expansion and Contraction Joints - See City Construction Standard No. 14.  
 Hand-applied Sealant - Required on all Joints in accordance with current ADA requirements.  
 Materials - See City Standard Driveway Entrance and Apron Section.

**Excavation in Corridor:**  
 When excavating in the roadway of a City Street, a clean, full depth cut - by jack hammering or sawcutting shall be made in the street between the affected and the unaffected work areas. Further, final excavation in the affected area of the street shall consist of creating a new curb cut by sawcutting 12" beyond the edge of any affected work areas, backfilling with PenDOT 2A Modified Stone, and properly compacting this stone to the elevation of the top of the subbase (i.e. bottom of the base course of the macadam), but no higher than 3-inches below the final grade - except as required to provide reasonable temporary access at driveway.

**ORDINANCE REQUIREMENTS:**  
 Minimum of Safety - Provided from the City Engineer's Office, provided for establishing Line & Grades. Stakes to be protected by applicant and used within 30 days.  
 Excavation Permit - Must be secured from the City Engineer's Office, for Sidewalk and Driveway Construction.

**DETAIL REQUIREMENTS:**  
 For further details and other requirements see the following documents on file in the Office of the City Engineer:  
 Standard Specifications for the Construction of Concrete Curb, Gutter and Sidewalk  
 Unified Ordinances of the City of Bethlehem, Articles 903 and 909.

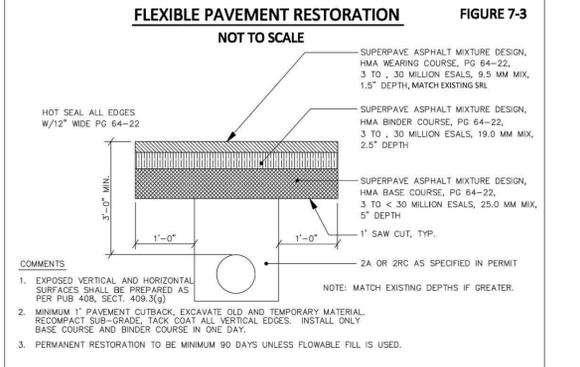
**NOTES:**  
 • Whenever a curb, gutter and/or sidewalk is located in a Historic District, special requirements may apply.  
 • Changes to dimensional requirements may be considered in cases where obstructions or circumstances exist. Any exceptions must be approved by the City Engineer. Current ADA requirements must be met in all cases.

**CITY OF BETHLEHEM, PA**  
 BUREAU OF ENGINEERING  
**CONSTRUCTION STANDARD NO. 1**  
 for CONCRETE CURB, GUTTER and SIDEWALK  
 February 7, 2020  
 REVISED PER CITY OF BETHLEHEM COMMENTS  
 M. J. Seltzer  
 CITY ENGINEER

City of Bethlehem, PA Bureau of Engineering  
**CONSTRUCTION STANDARD NO. 1A**  
 CONCRETE CURB, GUTTER AND SIDEWALK EXPANSION AND CONTRACTION JOINT DETAIL  
 February 7, 2020  
 REVISED PER CITY OF BETHLEHEM COMMENTS

**NOTES:**  
 1. Contractor shall place appropriately sized plastic sleeves (usually 4-inch) in any sidewalk area requiring placement or replacement of supports or other similar items that penetrate through any newly placed concrete structure. Posts or other items that are required shall be located at the same location they were originally, unless otherwise specified by the City Engineer or his designee.  
 2. Large items, such as utility poles and foundations of traffic signs, posts, etc. requiring placement or replacement of supports or other similar items that penetrate through any newly placed concrete structure. Posts or other items that are required shall be located at the same location they were originally, unless otherwise specified by the City Engineer or his designee.  
 3. Whenever a curb, gutter and/or sidewalk is located in the Historic Area, special requirements apply.  
 4. Changes to dimensional requirements may be considered in cases where obstructions or circumstances exist. Any exceptions must be approved by the City Engineer. Current ADA requirements must be met in all cases.

**CITY OF BETHLEHEM, PA**  
 BUREAU OF ENGINEERING  
**CONSTRUCTION STANDARD NO. 1A**  
 CONCRETE CURB, GUTTER AND SIDEWALK EXPANSION AND CONTRACTION JOINT DETAIL  
 February 7, 2020  
 REVISED PER CITY OF BETHLEHEM COMMENTS  
 M. J. Seltzer  
 CITY ENGINEER



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1	1/17/22	CK	REVISED PER CITY OF BETHLEHEM COMMENTS

**C. RICHARD ROSEBERY**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 46162  
 C. Richard Rosebery  
 PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: PE046162R  
 COLLIER'S ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT & MINOR SUBDIVISION PLAN**  
 FOR  
**PERON DEVELOPMENT LLC**  
 BLOCK 3A, WARD 4  
 413 E. 3RD STREET (P6 2-2-13 0204)  
 415 E. 3RD STREET (P6 2-2-14 0204)  
 CITY OF BETHLEHEM NORTHAMPTON COUNTY PENNSYLVANIA

**Colliers** LEHIGH VALLEY  
 941 Marcon Boulevard, Suite 801  
 Allentown, PA 18109  
 Phone: 610.868.4201  
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SCALE: AS SHOWN DATE: 9/28/2021 DRAWN BY: CKR CHECKED BY: CKR  
 PROJECT NUMBER: 140014900 DRAWING NUMBER: C-DTLS-PHS-2  
**CONSTRUCTION DETAILS**  
 SHEET NUMBER: 15 of 15